

WORCESTER HISTORICAL COMMISSION



CERTIFICATE OF APPROPRIATENESS & BUILDING DEMOLITION DELAY WAIVER APPLICATION

(For properties located in the Crown Hill, Massachusetts Avenue or Montvale Local Historic District)

Planning & Regulatory Services Division * 455 Main Street - Suite 404, Worcester, MA 01608 * Phone 508-799-1400, x31440
Office Hours are 8:30 am - 2:00 pm

1. Building Address/Location: 114 Austin Street, worcester, MA 01608 Date: March 7, 2024

2. Historic District: Crown Hill

3. Date or Estimation of Original Construction: 1890

4. Description of Work: (please list and explain each proposed change separately. If replacing with like materials, note accordingly)

Area of Work

Partial Demolition of Building(s)

Describe "Other" Area of Work

Scope of Work - Describe Work to be Completed

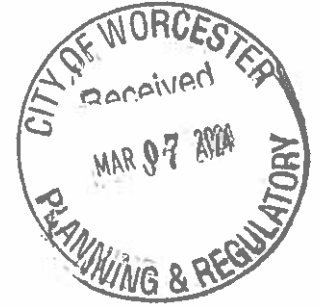
Demolition of the existing house, while maintaining the facade of the existing carriage house which will be renovated

Describe the Condition of Existing Materials to be Removed

the entire buidng, minus the carriage house facade which will be maintained and renovated

Describe Proposed Materials

New 4-unit building and (1) unit at carraige house



2024 MAR -7 PM 3:26 Received Worcester City Clerk

5. Owner of Property:

DBA Name: Polar Views, LLC

Owner Address:37 West Millbury Road Sutton MA 01590

Owner Name: Rebecca Yarnie

Owner Phone: 774.303.9860

6. Contractor Information:

Company Name: Dixon Salo Architects, Inc.

Contractor Address: 300 Main Street, First Floor Worcester 01608 MA

Contractor Contact Name: Jesse Hilgenberg

Contractor Phone: 508.755.0533

7. Type of Building Construction Wood stud
(Wood, Concrete, Steel, etc.)

8. List all the Uses of the Building residence - condemned
(Residence, Business, Industrial, etc.) # of Stories: 3

9. Code Violations/Health/Safety Issues: Condemned due to unpermitted questionable structural

10. Reasons for full or partial demolition (i.e. changes to the exterior) including other alternatives explored:
building is beyond repair. Demo and reconstructin to provide (5) new residential units

11. Hardship, if applicable (usually is used when replacement is proposed in place of restoration of the original historic materials, features, or structures. Detailed cost estimates & comparisons of replacement v. restoration may be attached separately for the Commission's review)
No

Owner's Signature certifying that the above information is true and accurate to the best of his/her knowledge:

Jesse Hilgenberg (handwritten signature)

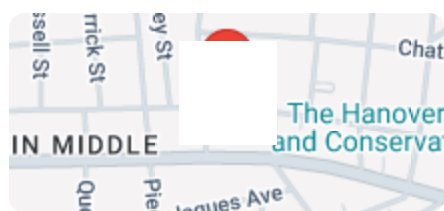
Date: 03.07.2024

Google Maps 114 Austin St

Worcester, Massachusetts
Google Street View
Jun 2023 See more dates



Image capture: Jun 2023 © 2024 Google



HISTORIC LEVEL 3 ALTERATION: 114 AUSTIN STREET

PROJECT LOCATION
114 AUSTIN STREET
WORCESTER, MA 01609

CLIENT
POLAR VIEWS
89 WEST MAIN STREET, UNIT 101
NORTHBOROUGH, MA 01532
MR DANIEL YARNIE

CIVIL ENGINEER
J.M. GRENIER ASSOCIATES, INC.
118 TURNPIKE ROAD, SUITE 200
SOUTHBOROUGH, MA 01772
MR. JOHN GRENIER
JMGRENIER@TOWNISP.COM
(T) 508.845.2500

ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES & DETAILS
ARCHITECTURAL	
D-1.0	CONCEPTUAL DEMO PLAN
A-0.1	CONCEPTUAL FOUNDATION PLAN
A-1.1	BASE PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	SECOND FLOOR PLAN
A-1.4	ROOF PLAN
A-2.0	SIDE ELEVATION
A-2.1	QUINCY STREET ELEVATION
A-2.2	AUSTIN STREET ELEVATION
A-2.3	REAR ELEVATION
A-2.4	PROPOSED MATERIAL PHOTOS
A-2.5	CARRIAGE HOUSE SECTION
A-2.6	NEW BUILDING SECTION
A-4.0	KITCHEN AND BATHROOM INTERIOR ELEVATIONS
A-8.0	DOOR & WINDOW TYPES, FINISH SCHEDULE

NOTE:
PORTIONS OF THE PROJECT ARE TO BE DESIGN-BUILD UNDER THE GENERAL CONTRACTOR.
GENERAL CONTRACTOR TO PROVIDE ARCHITECT WITH STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM AND PLUMBING DRAWINGS FOR REVIEW BEFORE SUBMISSION FOR PERMIT.



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

ABBREVIATIONS

ACOUSTICAL CEILING TILE	A.C.T	MANUFACTURED	MFD
ACOUSTIC	ACST	MARBLE	MAR
ABOVE FINISHED FLOOR	AF	MASONRY	MAS
ALUMINUM	ALUM	MASONRY OPENING	MSPY
ARCHITECT	ARCH	MATERIAL	MAT
AVERAGE	AVG	MASONRY	MW
BEAM	BM	MECHANICAL	MAX
BOARD	BD	METAL	ML
BRASS	BR	METER	M
BRONZE	BRZ	MIRIAM	MIR
BUILDING	BLDG	MISCELLANEOUS	MISC
BULLET IN	BLIN	MULLION	MULL
CABINET	CAB	NATURAL	NAT
CEILING	CLG	NOMINAL	NOM
CENTER LINE	CL	NOT IN CONTRACT	NIC
CENTIMETER	CM	NOT TO SCALE	NIS
CERAMIC	CER	NUMBER	N
CLEAR	CLR	ON CENTER	OC
COLD WATER	CW	OPENING	OPG
COLUMN	COL	OPPOSITE	OPP
CONCRETE	CONC	PAINTED	PID
CONCRETE MASONRY UNIT	CMU	PARTITION	PTN
CONSTRUCTION	CONST	PLASTER	PL
CONTINUOUS	CONTS	PLASTIC LAMINATE	PLAM
CONTRACTOR	CONTR	PLYWOOD	PLYW
DEMOLITION	DEMO	PRESSURE TREATED	P.T.
DETAIL	DET	QUANTITY	QTY
DIAMETER	DIA OR	QUARRY TILE	QT
DIMENSION	DM	RADIUS	R
DOOR	DR	REFERENCE	REF
DOWN	DN	REINFORCE	RENF
DRAWING	DWG	REMOVE	RMV
DRINKING FOUNTAIN	DF	REQUIRED	REQD
EACH	EA	REVISION	REV
ELECTRIC	ELEC	RIBB	RS
ELECTRIC WATER COOLER	EW	ROOM	RM
EQUAL	EQ	ROUGH OPENING	R.O.
EQUIPMENT	EQUIP	SCHEDULE	SCH
ESTIMATE	EST	SECTION	SECT
EXISTING	EXST	SHEET	SH
EXTERIOR	EXT	SIMILAR	SIM
FABRICATE	FAB	SOLID CORE	SC
FEET	OR FT	SPECIFICATIONS	SPEC
FINISH	FIN	SQUARE FEET	SF
FINISHED ALL OVER	FAO	SQUARE INCHES	SQ IN.
FIREPROOF	FP	STANDARD	STD
FLOOR	FLR	STEEL	ST
FLORESCENT	FLUOR	STRUCTURAL	STR
FULL SIZE	FS	SUSPENDED	SUSP
FURNISH	FURN	SYSTEM	SYS
GAUGE	GA	TEMPERATURE	TEMP
GENERAL	GEN	TONGUE & GROOVE	T&G
GLASS	GL	TRAIL	TR
GYPSON BOARD	GYP BD	TYPICAL	TYP
HARDWARE	HW	UNFINISHED	UNF
HARDWOOD	HWWD	URNAL	UR
HEIGHT	HT	VENT THROUGH ROOF	VTR
HOLLOW CORE	HC	VERIFY IN THE FIELD	VIF
HORIZONTAL	HOR	VERTICAL	VERT
HOT WATER	HW	VENT TILE	VNT
INSULATION	INS	WARRANTY	WNTY
INTERIOR	INT	WATER CLOSET	WC
JUNCTION BOX	JBOX	WATERPROOF	WP
LAVATORY	LAV	WEIGHT	WT
LIGHT	LIC	WIDTH	W
LIGHTING	LIC	WITH	W
LINEAR	LN	WITHOUT	WO
LINOLEUM	LNO	WOOD	WD
MANUFACTURER	MFR	WROUGHT IRON	WI
GANVAZE	GANV	YARD	YD
GYPSON WALL BOARD	GWB		

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	EXIST WALL TO REMAIN
	EARTH - FILL	DEMO EXIST WALL
	GRAVEL	NEW CONSTRUCTION
	SAND	PULL STATION
	CONCRETE	EMERGENCY EXIT SIGN
	CONCRETE MASONRY	HORN/STROBE
	BRICK	STROBE
	BITUMINOUS CONCRETE	EMERGENCY BATTERY UNIT
	BATT INSULATION	EMERGENCY EXIT SIGN W/BATTERY UNIT
	RIGID INSULATION	FIRE EXTINGUISHER
	WOOD - FRAMING	CARD READER ACCESS
	WOOD - FINISH	EMERGENCY SHOWER
	PLYWOOD - SMALL SCALE	THERMOSTAT
	ACOUSTICAL TILE	PHOTOELECTRIC SMOKE & CO DETECTOR
	STEEL	HEAT & CO DETECTOR
	ALUMINUM	FLOURESCENT LIGHTING FIXTURE
		SPRINKLER HEAD
		HVAC GRILLE - RETURN
		HVAC - SUPPLY
		RECESSED DOWN LIGHT
		MOTION DETECTOR

LOCUS MAP



	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL DEMOLITION NOTES

A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANS110.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE, ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES).
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

B. CUTTING AND PATCHING

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

C. M.E.P. DEMOLITION NOTES

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

D. CLEANING

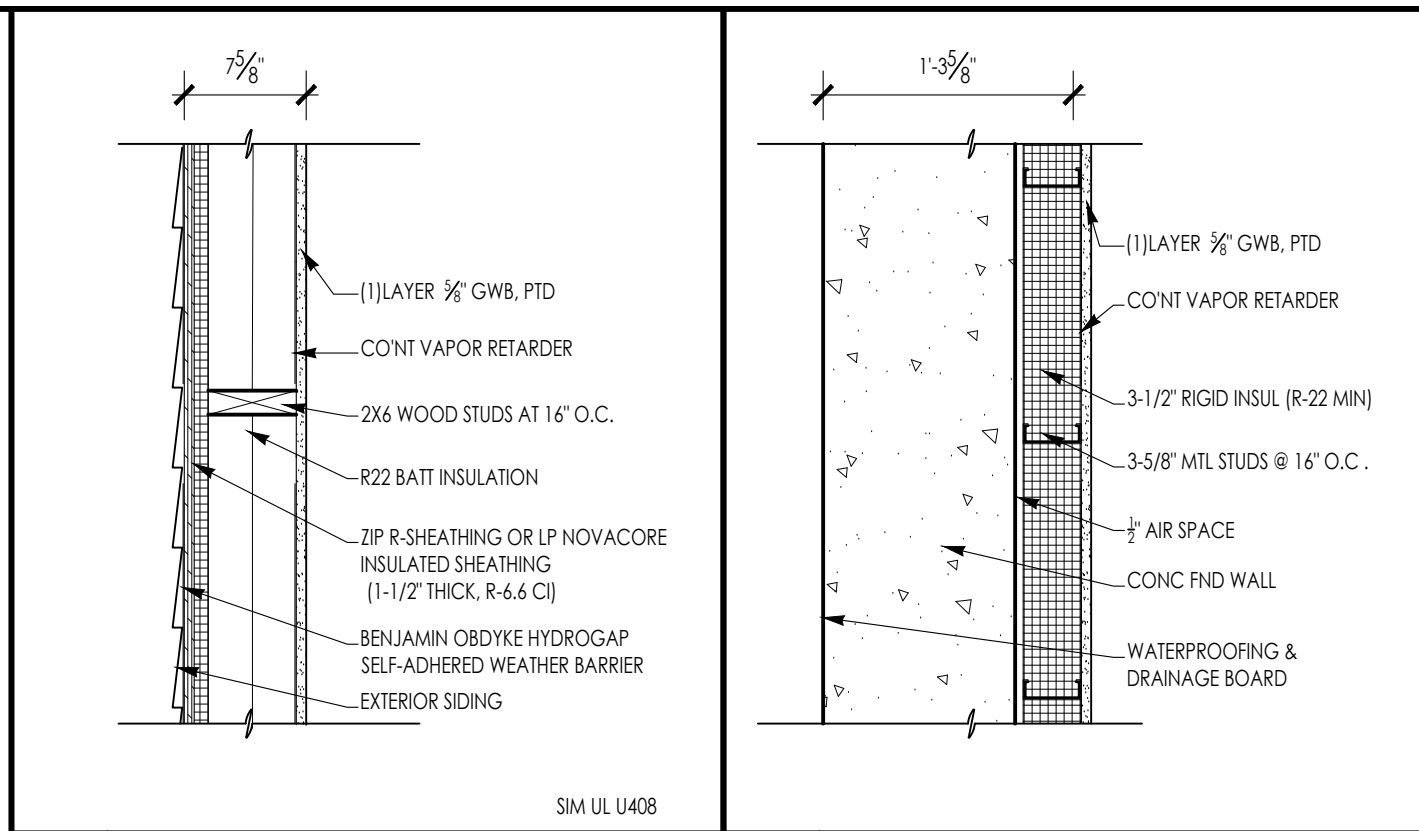
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS

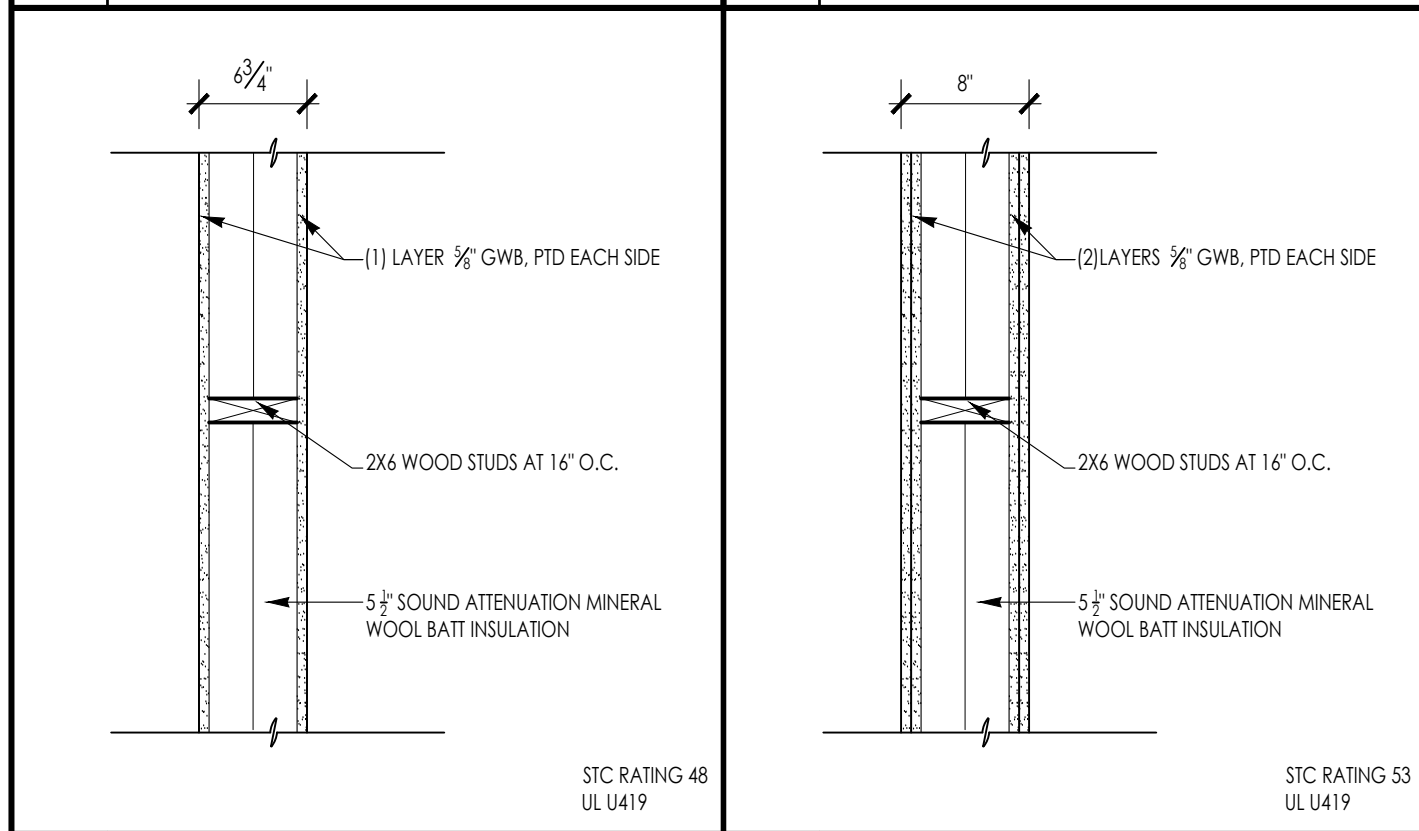
- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC., TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

GENERAL CONSTRUCTION NOTES

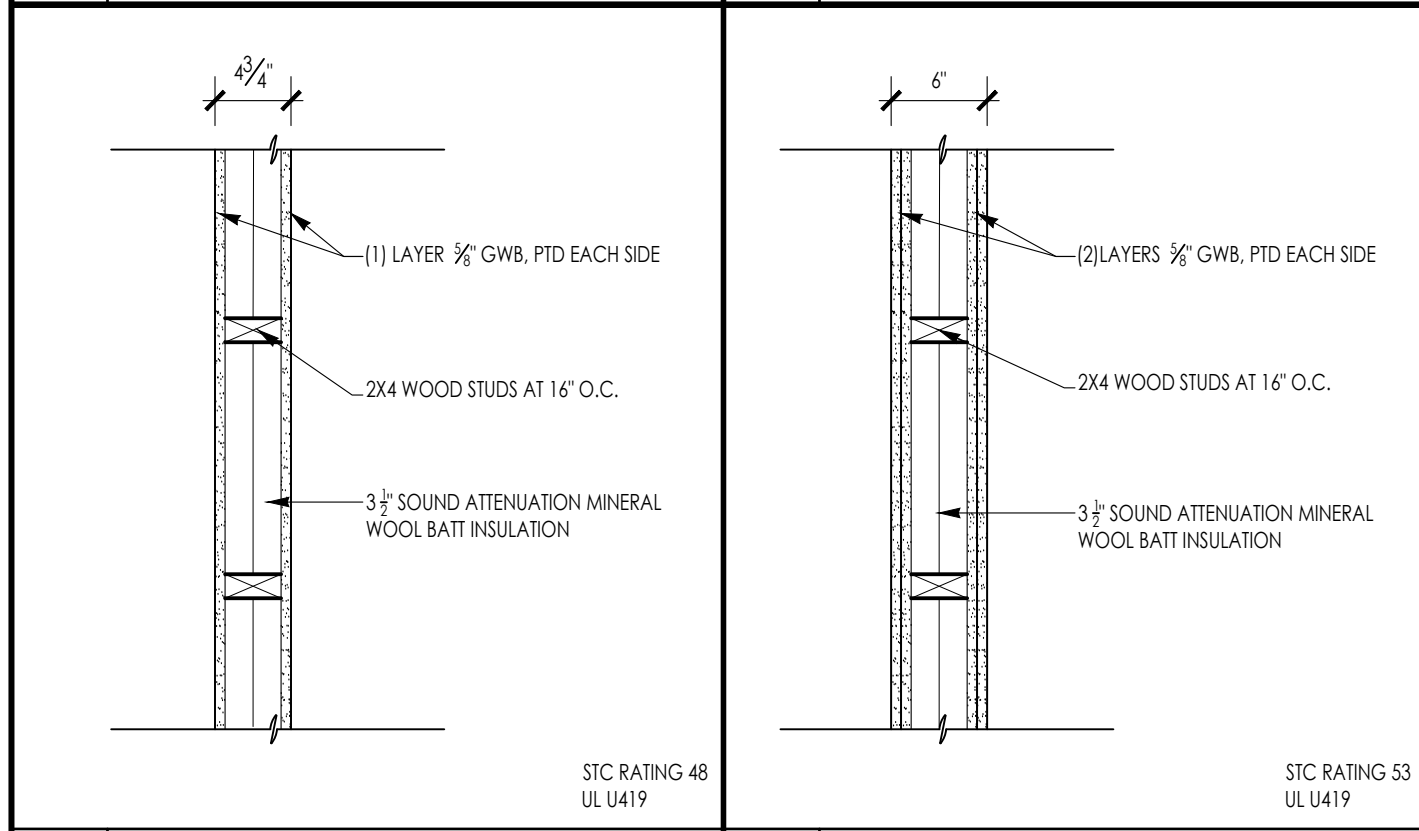
- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE:** ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



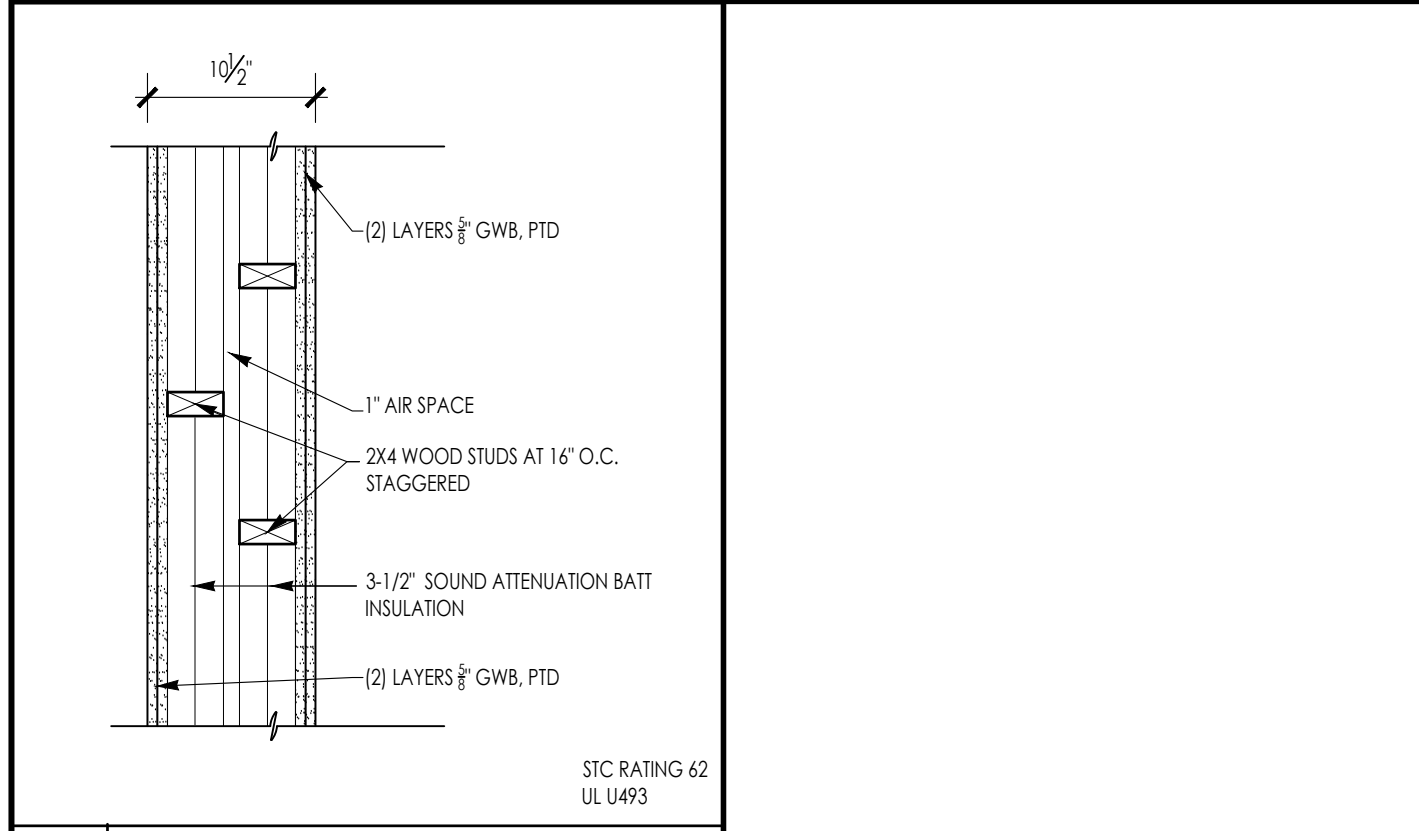
A EXTERIOR WALL ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"
B EXTERIOR WALL ASSEMBLY @ FOUNDATION WALL SCALE: 1" = 1'-0"



C1 INTERIOR WALL ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"
C2 INTERIOR WALL ASSEMBLY - 2 HOUR RATED SCALE: 1" = 1'-0"



D1 INTERIOR WALL ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"
D2 INTERIOR WALL ASSEMBLY - 2 HOUR RATED SCALE: 1" = 1'-0"



E TENANT SEPARATE ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"

2021 BUILDING ENVELOPE REQUIREMENTS WITH 225 CMR, CHAPTER 22.00:
 CLIMATE ZONE 5
 GROUP R BUILDING
 WSP = 0.59
 MAXIMUM HEBS RATING = 52
 (1) 50A CIRCUIT PER DWELLING UNIT FOR AC LEVEL II CHARGER
 ROOF TO BE SOLAR READY

ASHRAE 90.1 & STRETCH CODE = +15% BETTER INSULATION

FENESTRATION	U-FACTOR	U-0.26, SHGC=0.40
SKYLIGHT	U-FACTOR	U-0.47
CEILING	R-49	U-0.021
WOOD-FRAMED WALL	R-34.5	U-0.029
	OR R-23 + R-4 CI	
MASS WALL	R-20	U-0.071
FLOOR	R-34.5	U-0.028
BASEMENT WALL	R-22	U-0.043
	OR R-15+R-4 CI	
SLAB	R-12CI FOR 4'-0"	

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 200, WORCESTER, MA 01609
 (508) 755-0333 (F) 508-755-0333
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/> SCHEMATIC	07.20.2023
<input type="checkbox"/> DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/> BID	N/A
<input type="checkbox"/> PERMIT	12.28.2023
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
REVISION DATE	

DATE: 03.20.2024
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH
 PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609
 SHEET TITLE:
 GENERAL NOTES & DETAILS

SHEET NUMBER:
T-1.1

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
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	CONSTRUCTION	
	EXISTING CONDITIONS	

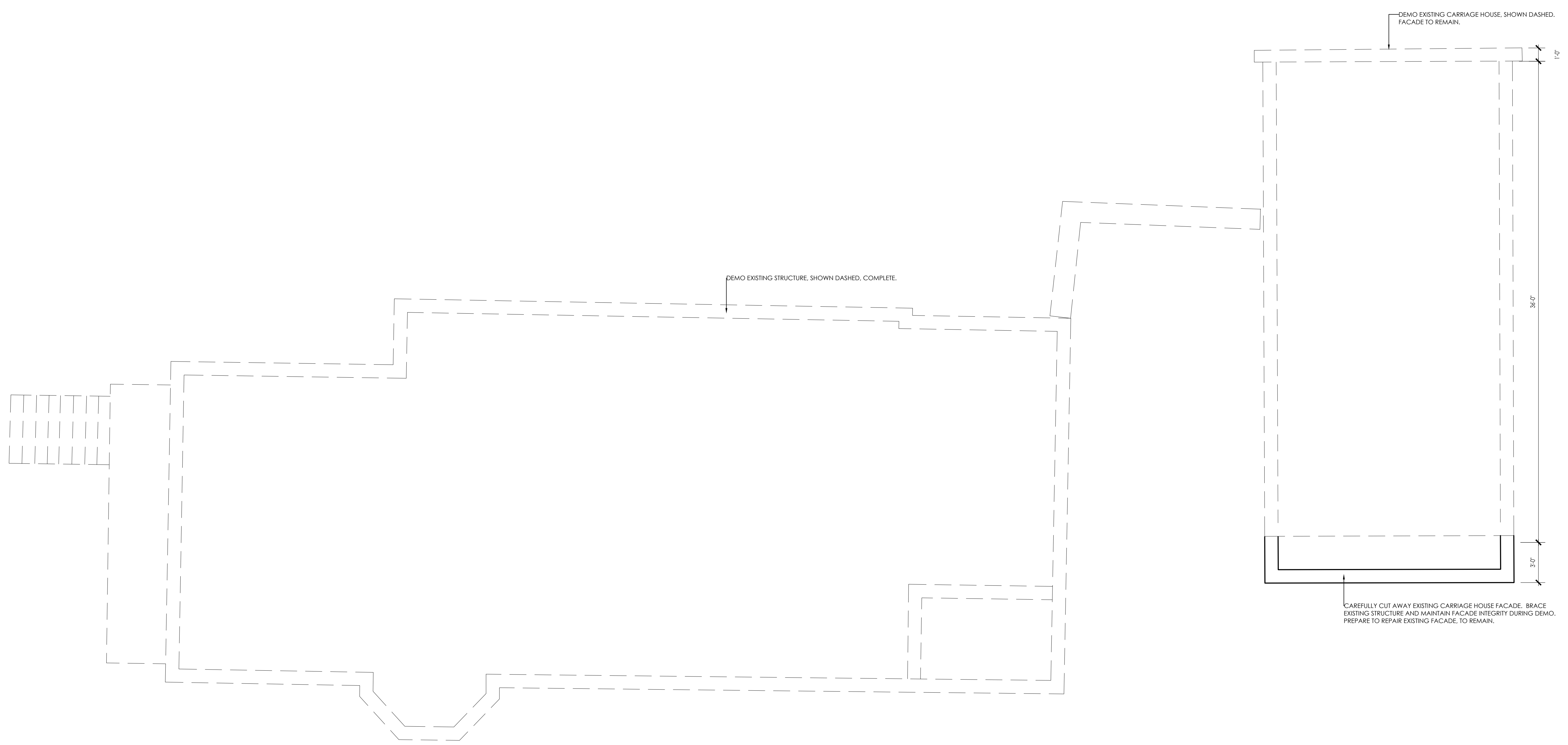
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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 CONCEPTUAL DEMO PLAN

SHEET NUMBER:
D-1.0



- DEMOLITION NOTES 10.16.23**
- REFER TO SHEET 1.1 FOR ADDITIONAL DEMOLITION NOTES
 - DEMOLISH AND REMOVE FROM SITE THE EXISTING 3 STORY BUILDING (BASEMENT, FIRST FLOOR, SECOND FLOOR INCLUDING FOUNDATION WALLS AND FOOTINGS)
 - DEMOLISH AND REMOVE FROM SITE THE EXISTING CARRIAGE HOUSE STRUCTURE WITH THE EXCEPTION OF THE FRONT 3' OF THE BUILDING FACING QUINCY STREET WHICH SHALL REMAIN AND BE REPAIRED AND PAINTED.
 - REMOVE EXISTING CONCRETE RETAINING WALL BETWEEN MAIN STRUCTURE AND CARRIAGE HOUSE.
 - DEMOLISH AND REMOVE FROM SITE ALL EXISTING BITUMINOUS AND CONCRETE PAVEMENT AND PREP FOR NEW.

CONCEPTUAL DEMO PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

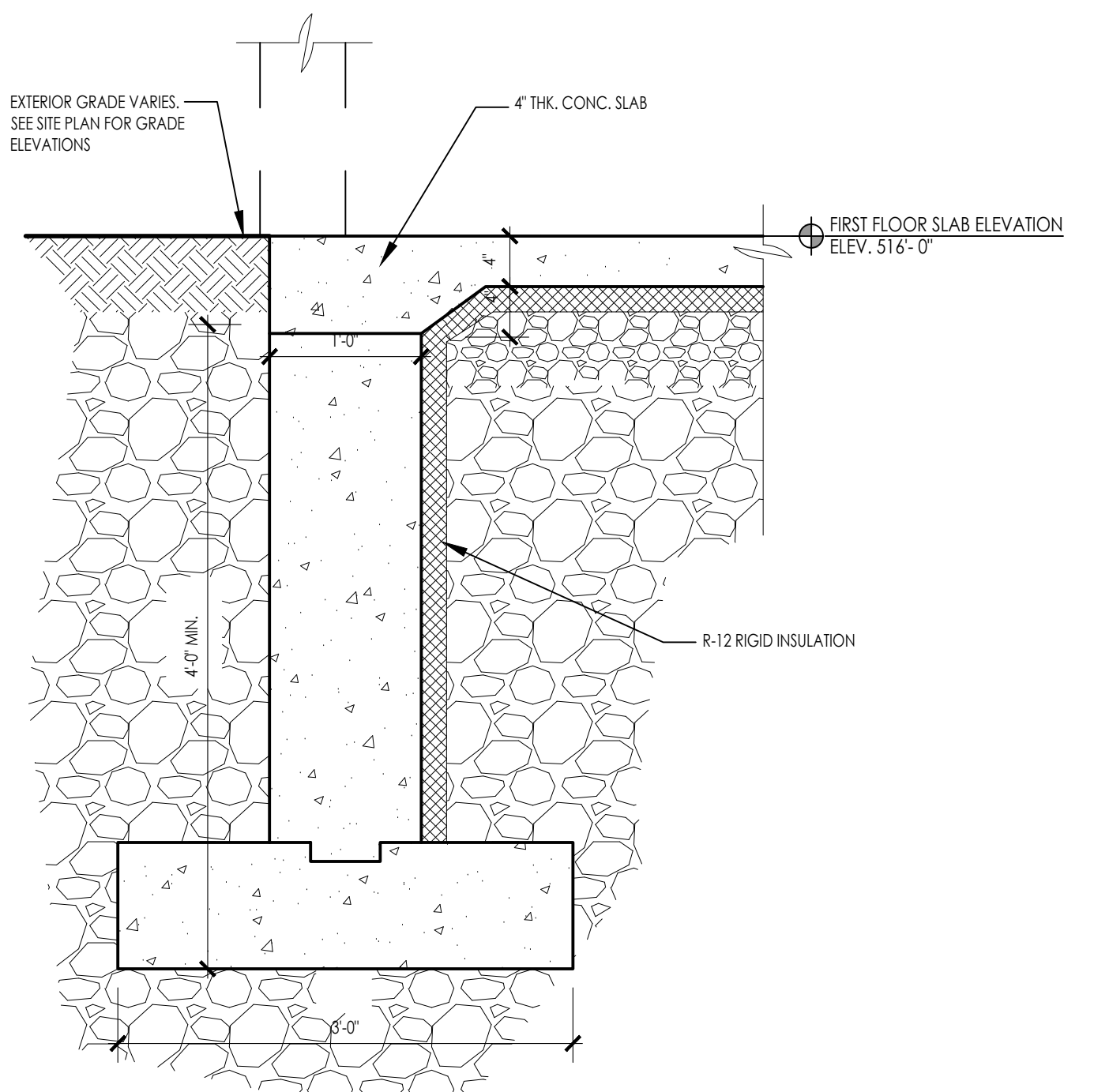
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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

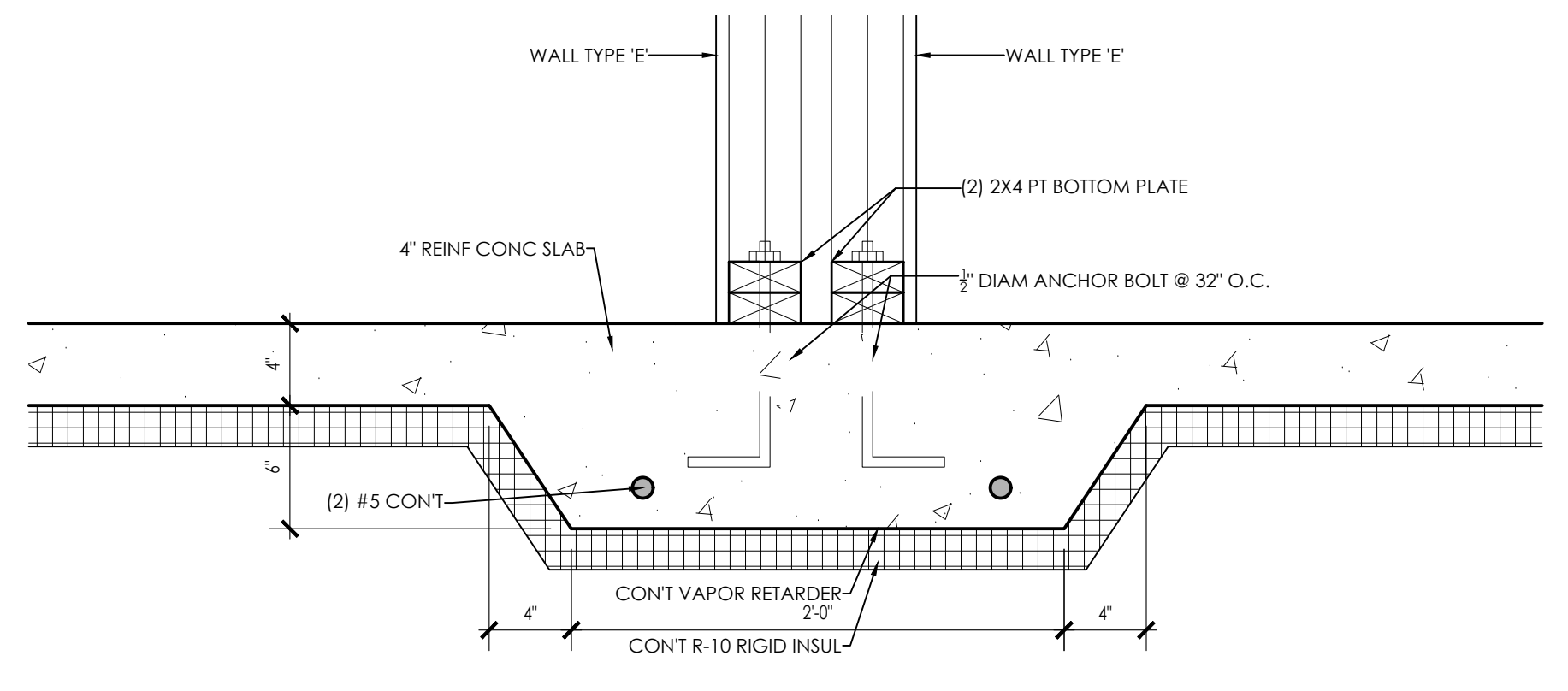
PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 CONCEPTUAL FOUNDATION PLAN

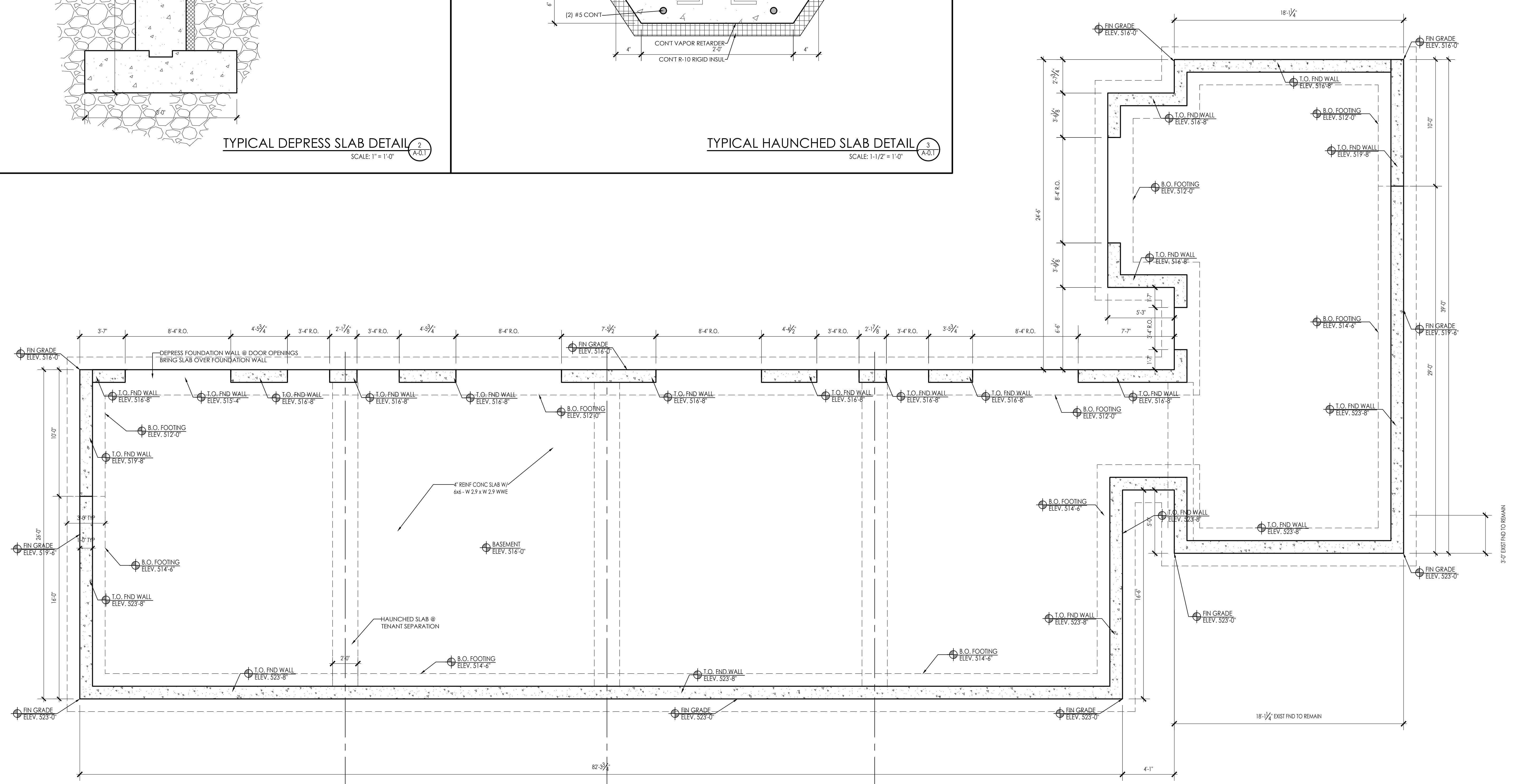
SHEET NUMBER:
A-0.1



TYPICAL DEPRESS SLAB DETAIL (2)
 SCALE: 1" = 1'-0" (A-0.1)



TYPICAL HAUNCHED SLAB DETAIL (3)
 SCALE: 1-1/2" = 1'-0" (A-0.1)



CONCEPTUAL FOUNDATION PLAN (1)
 SCALE: 1/4" = 1'-0" (A-0.1)

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

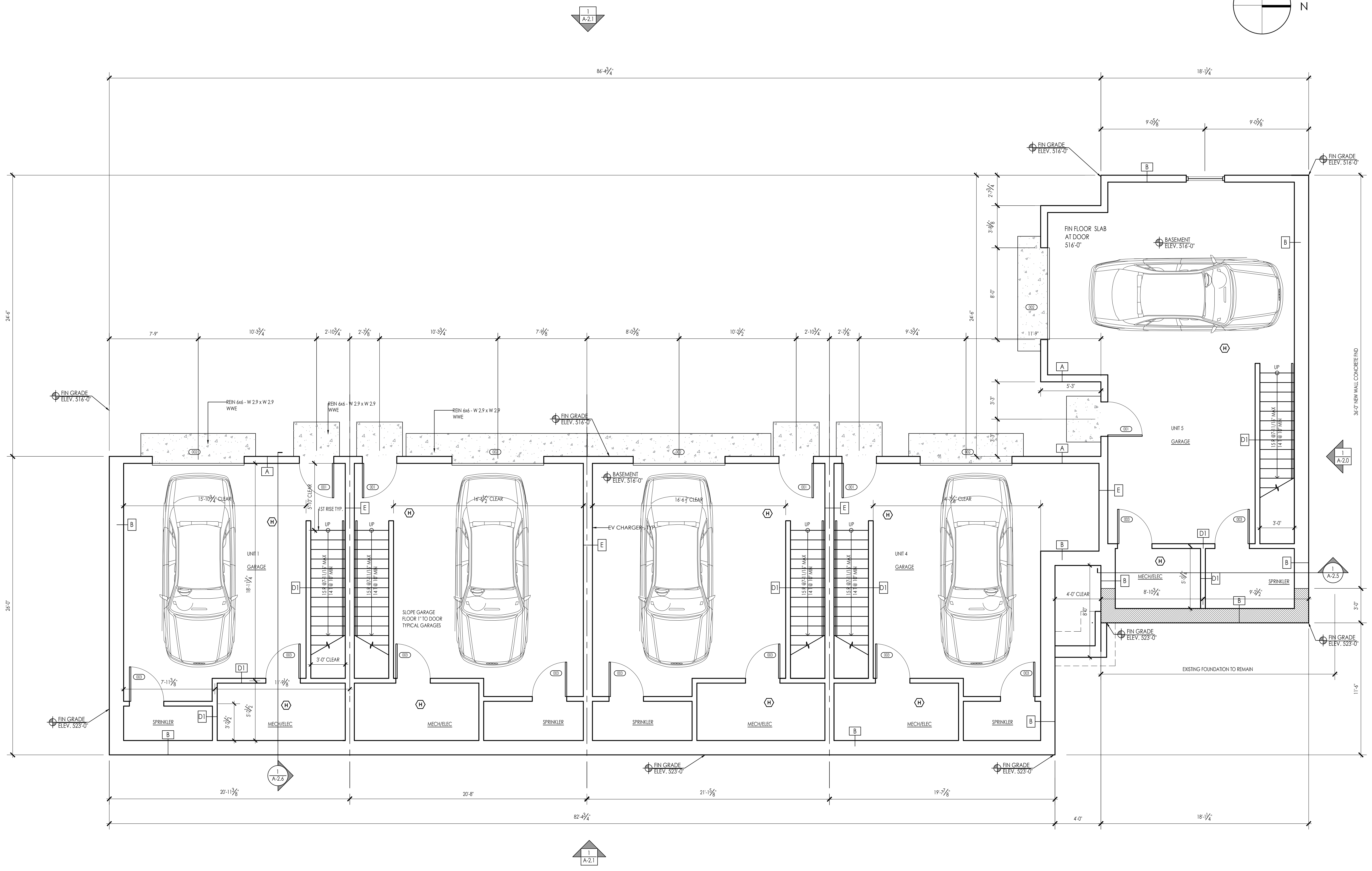
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SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

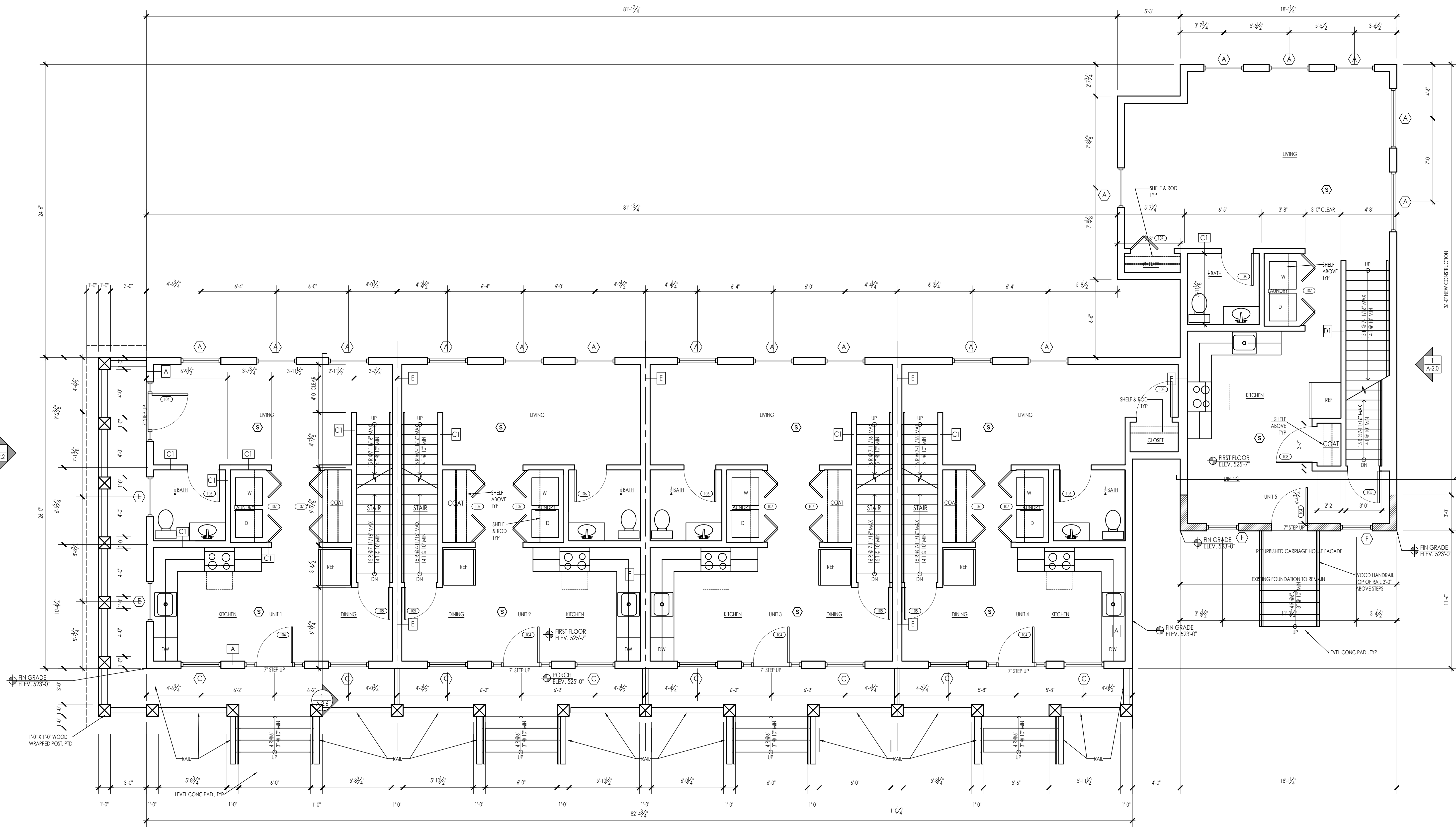
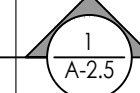
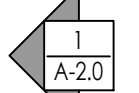
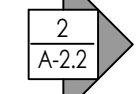
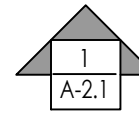
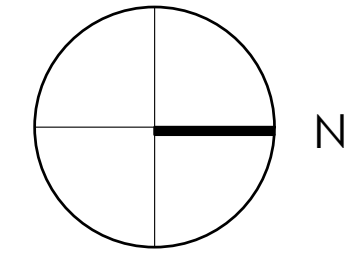
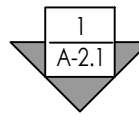
SHEET TITLE:
 BASEMENT PLAN

SHEET NUMBER:

A-1.0



BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET
 WORCESTER, MA 01609
 (508) 755-0333 (C) 1988-2024
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
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	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 FIRST FLOOR PLAN

SHEET NUMBER:

A-1.1

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

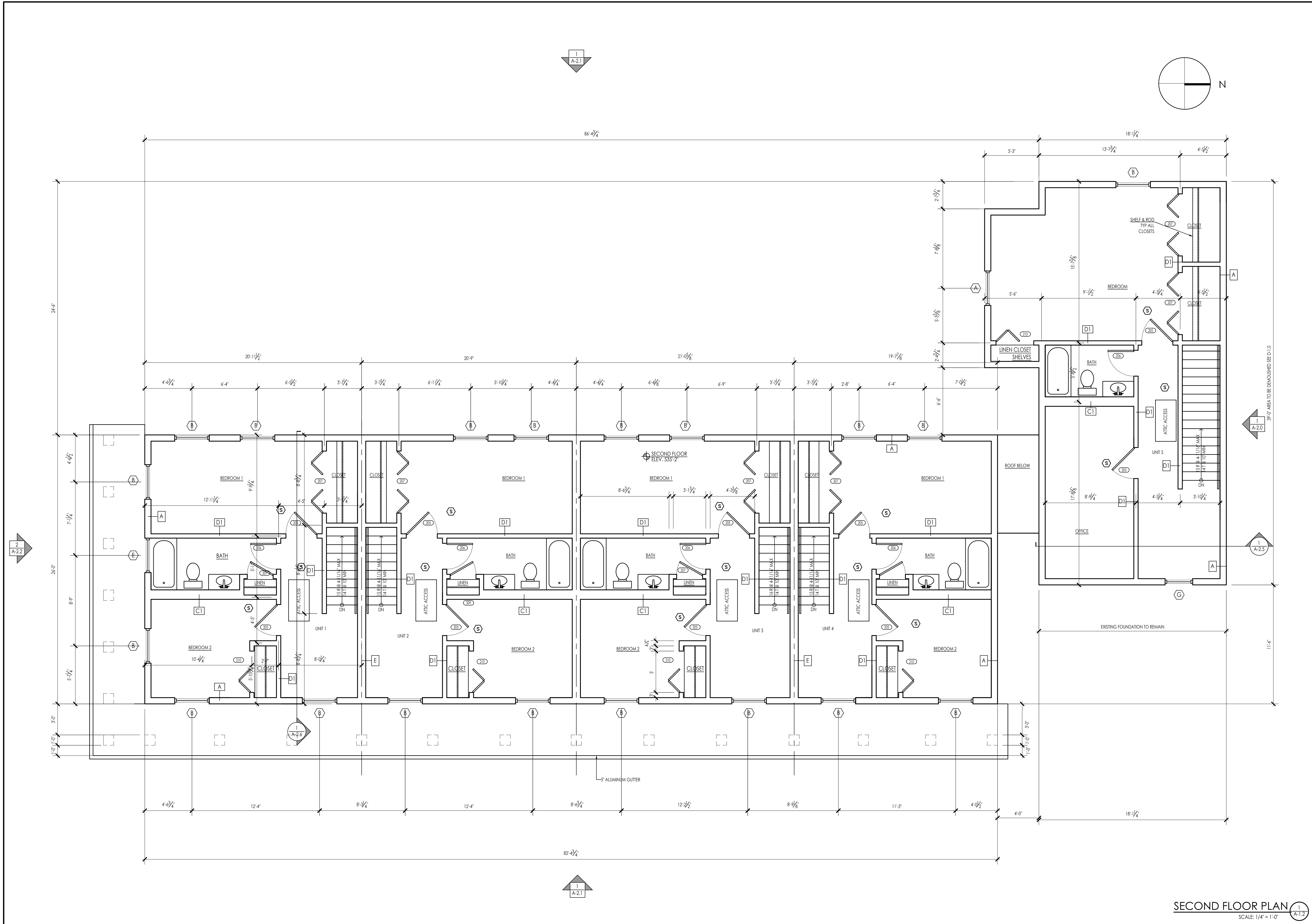
DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

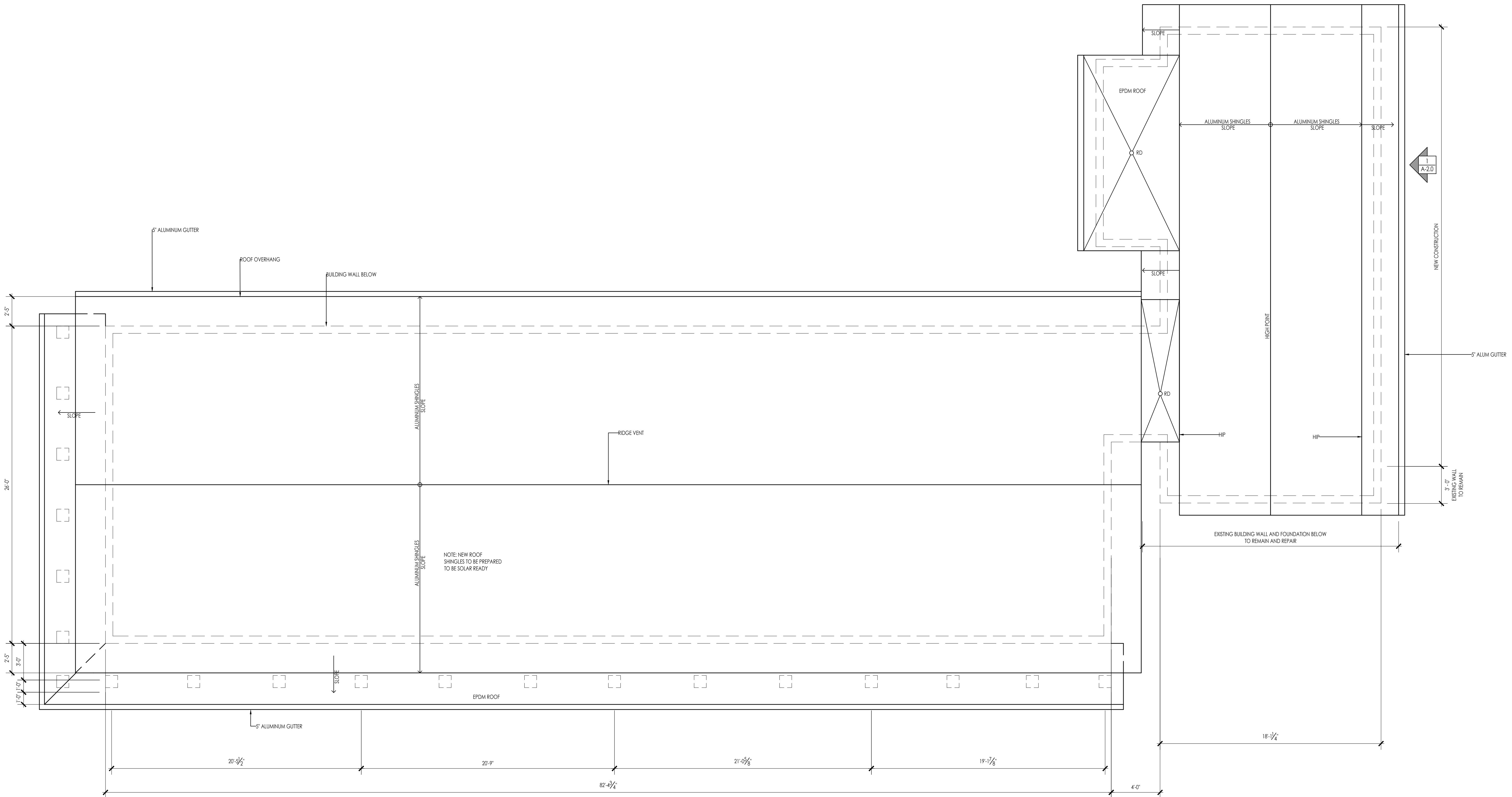
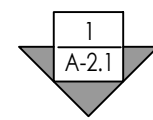
PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 SECOND FLOOR PLAN

SHEET NUMBER:

A-1.2





26'-0"
2'-5"
3'-0"
1'-0"
2'-5"

20'- $\frac{3}{4}$ "
20'-9"
21'- $\frac{5}{8}$ "
19'- $\frac{1}{8}$ "
82'- $\frac{3}{4}$ "
4'-0"

ROOF CONSTRUCTION
EAST COAST ALUMINUM METAL ROOFING
 EAVE TO PEAK TITANIUM HIGH TEMPERATURE ICE AND WATER SHIELD.
 COMAR VENT 3 SYNTHETIC BREATHABLE UNDERLAYMENT.
 ALUMINUM FLASHINGS, PLUMBING VENTS AND CHIMNEY COLLARS AS REQUIRED.
 PERMALOCK ALUMINUM SHINGLES INSTALL PER EAST COAST ALUMINUM METAL ROOFING REQUIREMENTS FOR WARRANTY AND WORKMANSHIP.

ROOF PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WILMINGTON, MASSACHUSETTS 01890
 (508) 755-0333 (C) 1998-2024
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

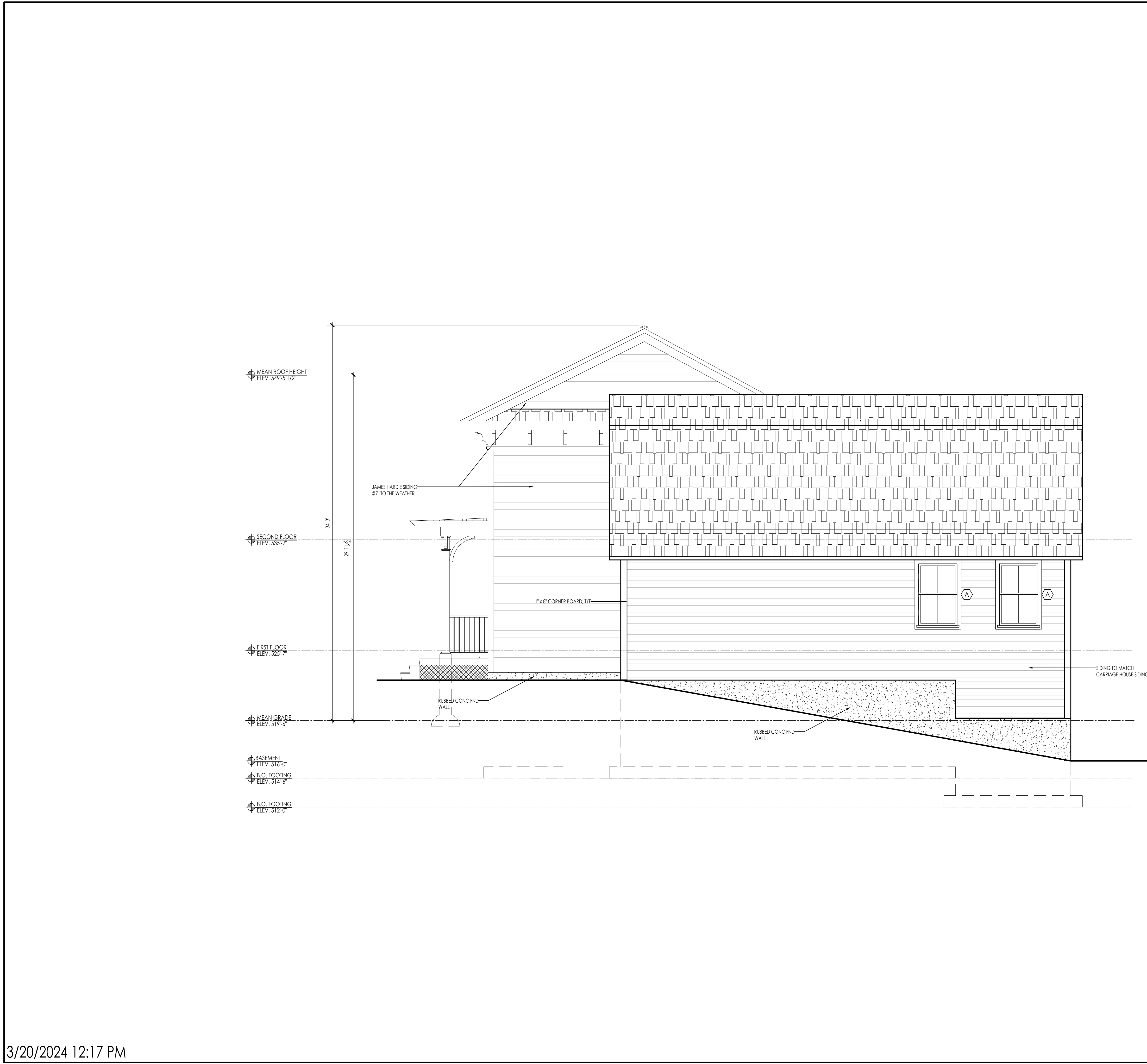
DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 ROOF PLAN

SHEET NUMBER:

A-1.3



- LIST OF MATERIALS**
- ROOFING MATERIALS:**
SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:**
CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDE PLAN LAP SIDING (6" REVEAL)
- GUARDS & HANDRAILS:**
HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:**
WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED WHITE**
- CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH**
- DECORATIVE - TREX TRANSCEND LINEAGE - JASPER**
- FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS**
- FRAMEWORK - 48" VERANDA WHITE GARDEN WYLL LATTICE**
- COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED**
- BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBK1-2**
- MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - /7901**

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
300 MAIN STREET
WORCESTER, MASSACHUSETTS 01609
(508) 755-0333
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
SIDE ELEVATION

SHEET NUMBER:

SIDE ELEVATION 1
SCALE: 1/4" = 1'-0" A-2.0

- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:**
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)
- GUARDS & HANDRAILS:**
 HANDRAILS - VERANDA 3/8 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:**
 WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER -** MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED WHITE
- CORNER MOLDING -** JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
- DECKING -** TREX TRANSCEND LINEAGE - JASPER
- FENCING -** VERANDA 3/8 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FRAMEWORK -** 4x8 VERANDA WHITE GARDEN WYVY LATTICE
- COLUMN -** BROSCO DSI ALUMINUM COLUMN - RECESSED
- BRACKET -** BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBK1-2
- MOLDING -** BROSCO INTEX MILLED & PRIMED PVC MOLDING - /7901

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

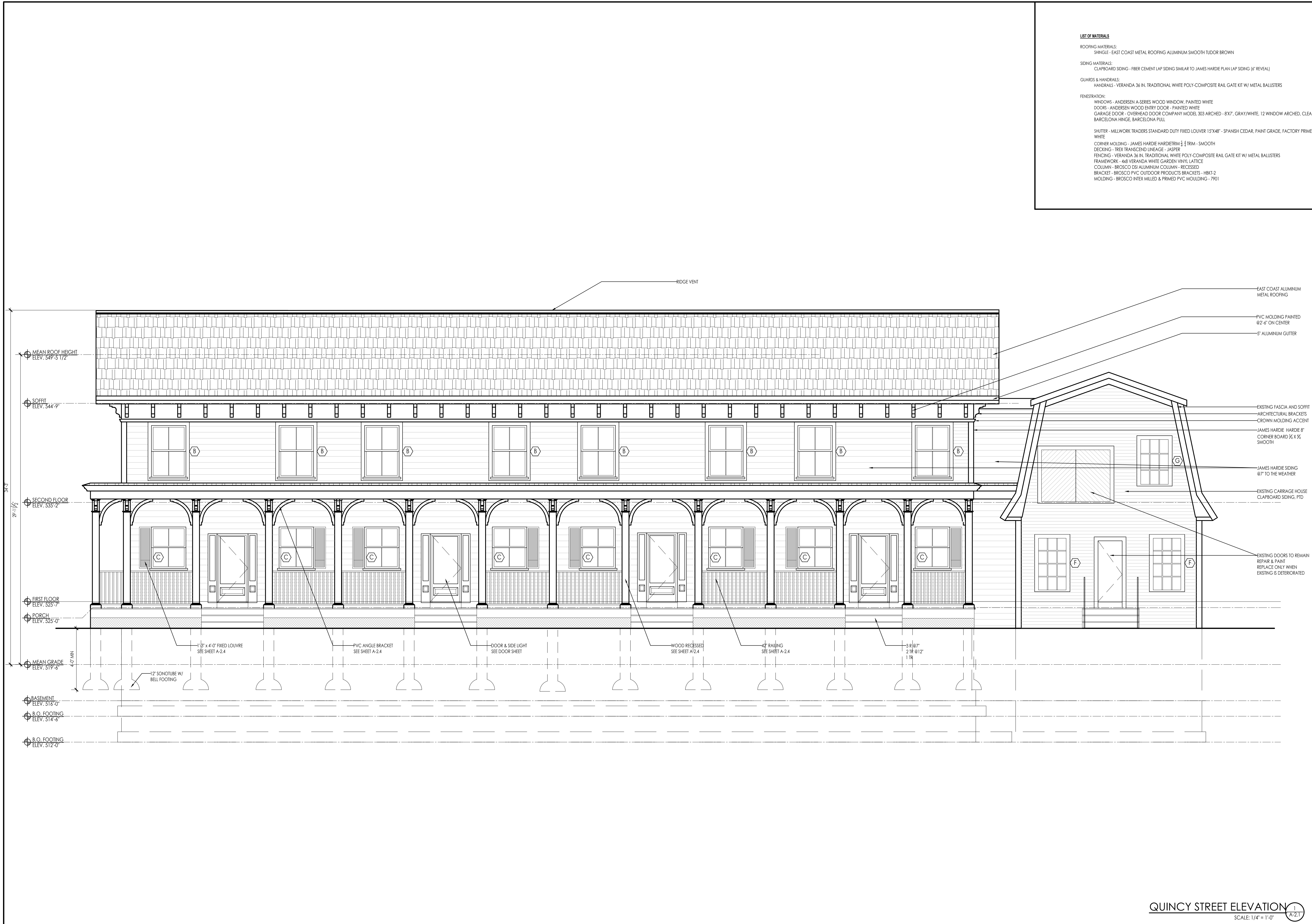
DATE: 03.20.2024
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 QUINCY STREET ELEVATION

SHEET NUMBER:

A-2.1



QUINCY STREET ELEVATION
 SCALE: 1/4" = 1'-0"

LIST OF MATERIALS

ROOFING MATERIALS:
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN

SIDING MATERIALS:
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)

GUARDS & HANDRAILS:
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FENESTRATION:
 WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8X7, GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL







SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED WHITE
 CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
 DECKING - TREX TRANSCEND LINEAGE - JASPER
 FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
 FRAMEWORK - 48 VERANDA WHITE GARDEN WYLL LATTICE
 COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
 BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
 MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - /7901

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE: 03.20.2024
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 AUSTIN STREET ELEVATION

SHEET NUMBER:

A-2.2



AUSTIN STREET ELEVATION
 SCALE: 1/4" = 1'-0" 1/2.2







- LIST OF MATERIALS**
- ROOFING MATERIALS:
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)
- GUARDS & HANDRAILS:
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:
 WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED WHITE
 CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
 DECKING - TREX TRANSCEND LINEAGE - JASPER
 FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
 FRAMEWORK - 48" VERANDA WHITE GARDEN WYLL LATTICE
 COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
 BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBK1-2
 MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - /7901

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
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4		
3		
2	MATERIALS & ENTRY - 03.20.2024	
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	REVISION DATE	

DATE: 03.20.2024
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

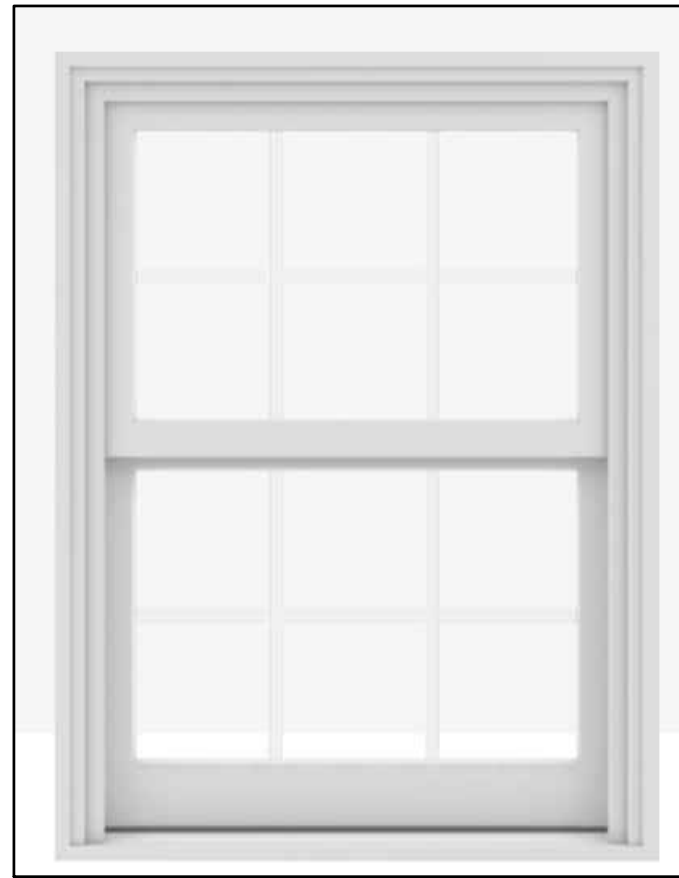
SHEET TITLE:
 REAR ELEVATION

SHEET NUMBER:

A-2.3



REAR ELEVATION
 SCALE: 1/4" = 1'-0"



ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
SEE WINDOW SCHEDULE



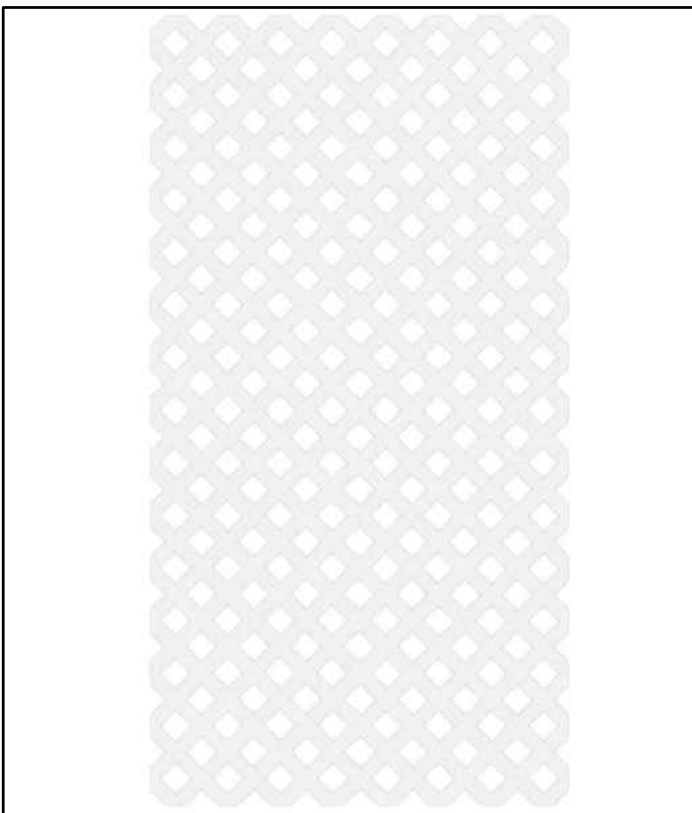
ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
DOOR = 3'-0" x 6'-8" WITH (2) 3/4" SIDELIGHTS



MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR,
FRONT DOOR WINDOWS, PAINT GRADE, FACTORY PRIMED WHITE



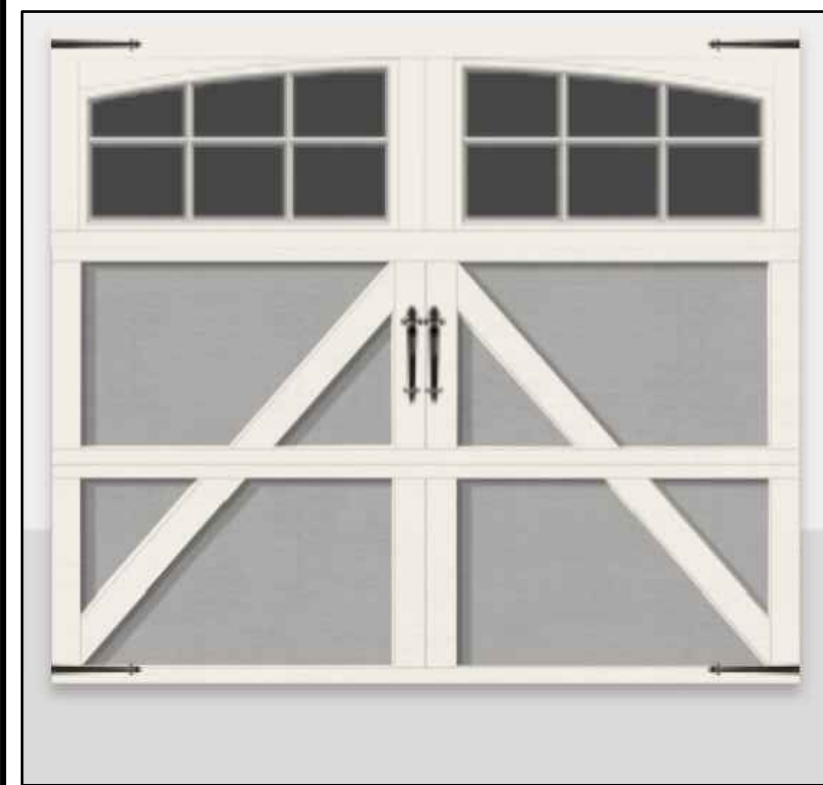
JAMES HARDIE 8" WIDE HARDIETRIM 3/4" TRIM - SMOOTH



4x8 VERANDA WHITE GARDEN VINYL LATTICE



EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
5' x 12' EXPOSURE



OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12
WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL



JAMES HARDIE FIBER CEMENT SIDING - COUNTRYLANE RED



VERANDA 42" TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL
BALLUSTERS



TREX TRANSCEND LINEAGE - JASPER, 6" x 3/4" BOARDS, PORCH DECK



BROSCOS DSI ALUMINUM COLUMN - RECESSED, PAINTED



BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2, PAINTED



BROSCO INTEX MILLED & PRIMED PVC MOULDING - 7901, PAINTED

LIST OF MATERIALS

- ROOFING MATERIALS:
SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:
CLAYBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)
- GUARDS & HANDRAILS:
HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALLUSTERS
- FENESTRATION:
WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED WHITE
- CORNER MOLDING - JAMES HARDIE HARDIETRIM 3/4" TRIM - SMOOTH
- DECKING - TREX TRANSCEND LINEAGE - JASPER
- FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALLUSTERS
- FRAMEWORK - 4x8 VERANDA WHITE GARDEN VINYL LATTICE
- COLUMN - BROSCOS DSI ALUMINUM COLUMN - RECESSED
- BRACKET - BROSCOS PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
- MOLDING - BROSCOS INTEX MILLED & PRIMED PVC MOULDING - 7901

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 100, WILMINGTON, MA 01890
 (617) 598-7250 FAX (617) 598-7253
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
PROPOSED MATERIALS PHOTOS

SHEET NUMBER:
A-2.4

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

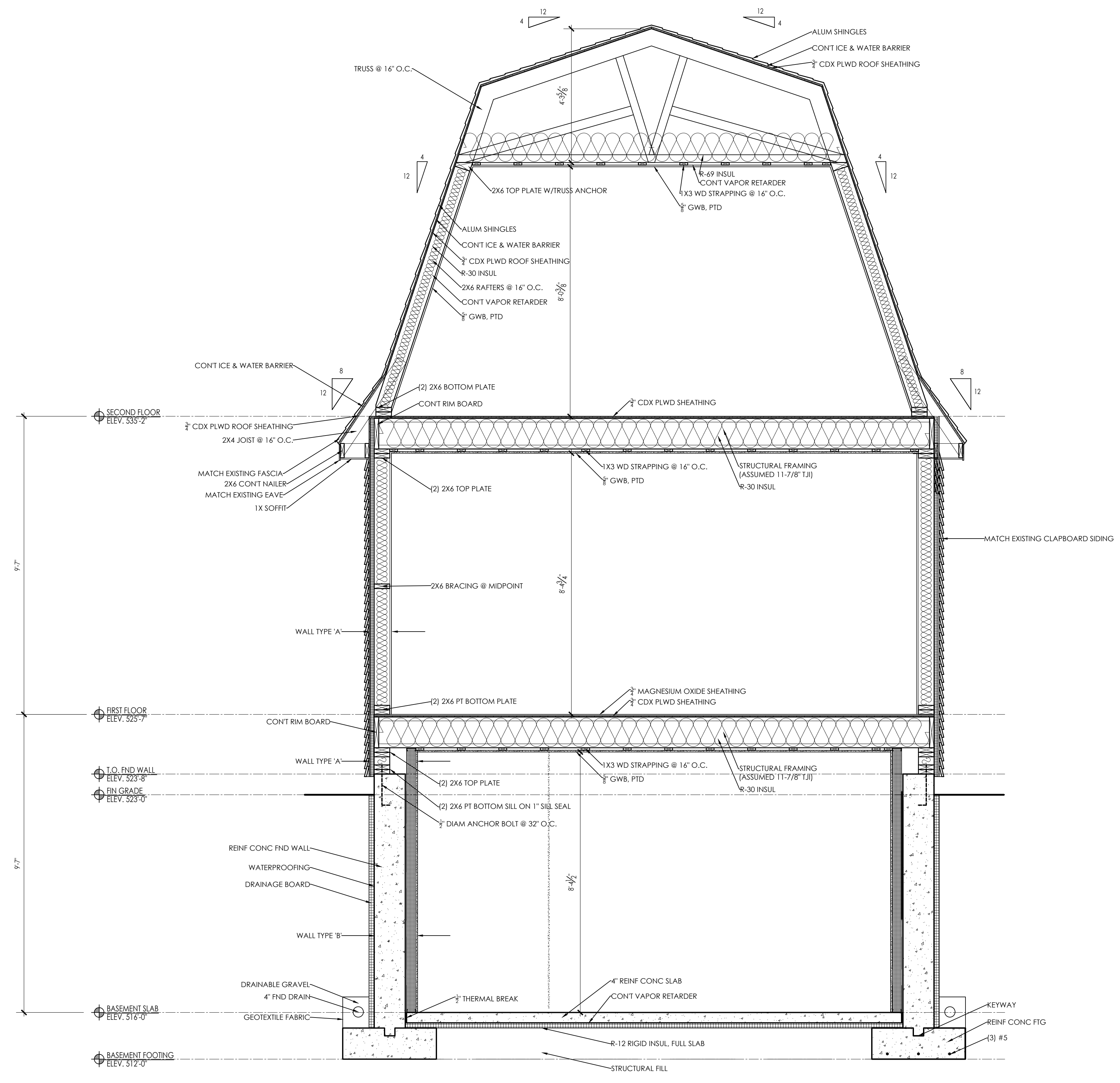
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SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

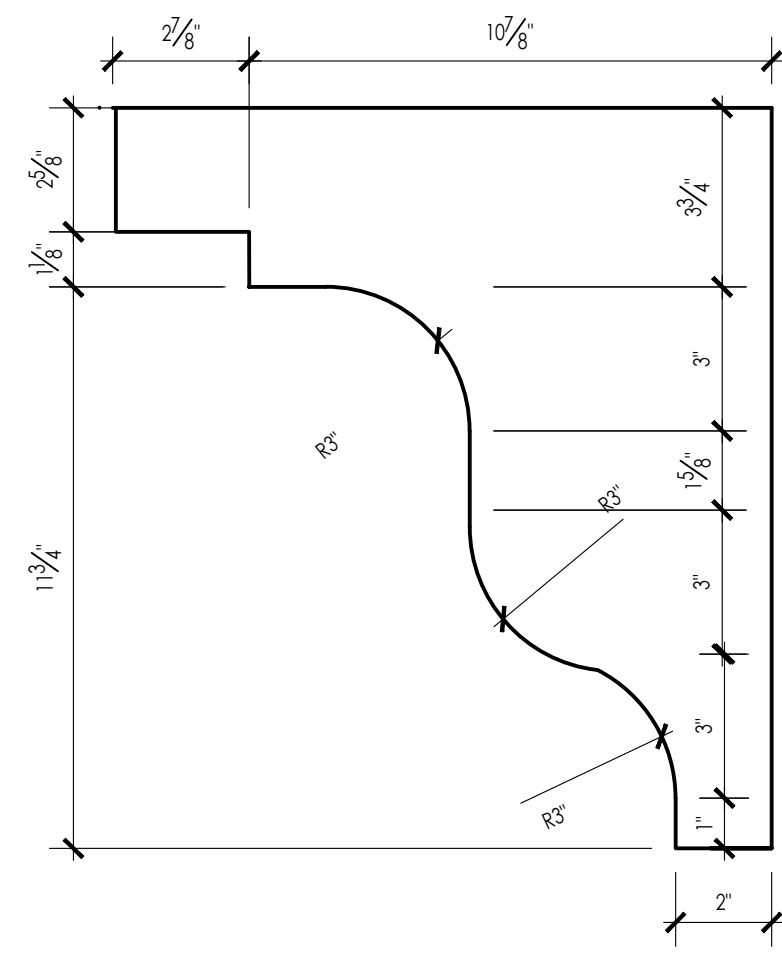
SHEET TITLE:
 CARRIAGE HOUSE SECTION

SHEET NUMBER:

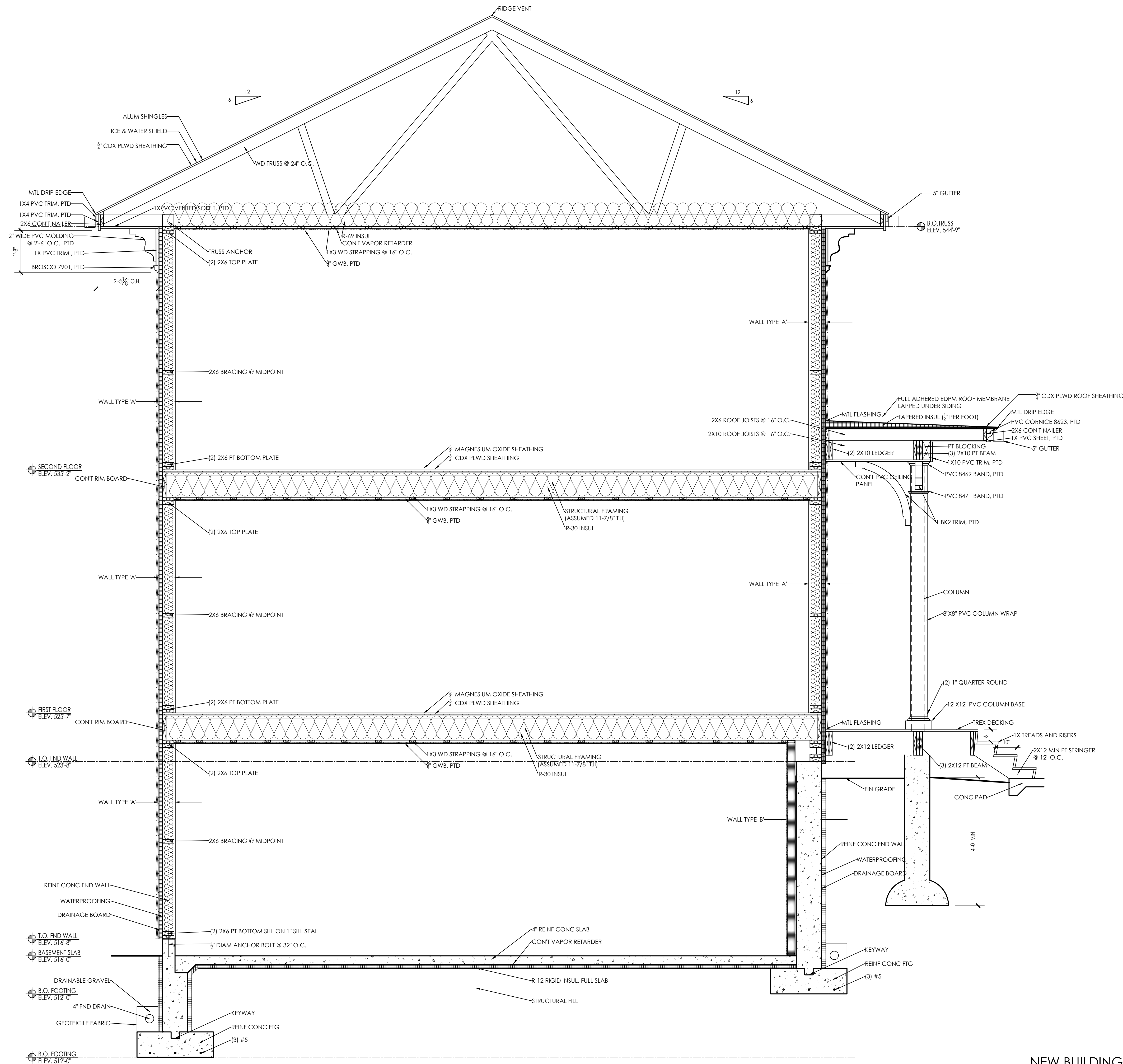
A-2.5



CARRIAGE HOUSE SECTION
 SCALE: 1/2" = 1'-0"



ROOF TRIM DETAIL
SCALE: 3" = 1'-0"
A-2.5



NEW BUILDING SECTION
SCALE: 1/2" = 1'-0"
A-2.5

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

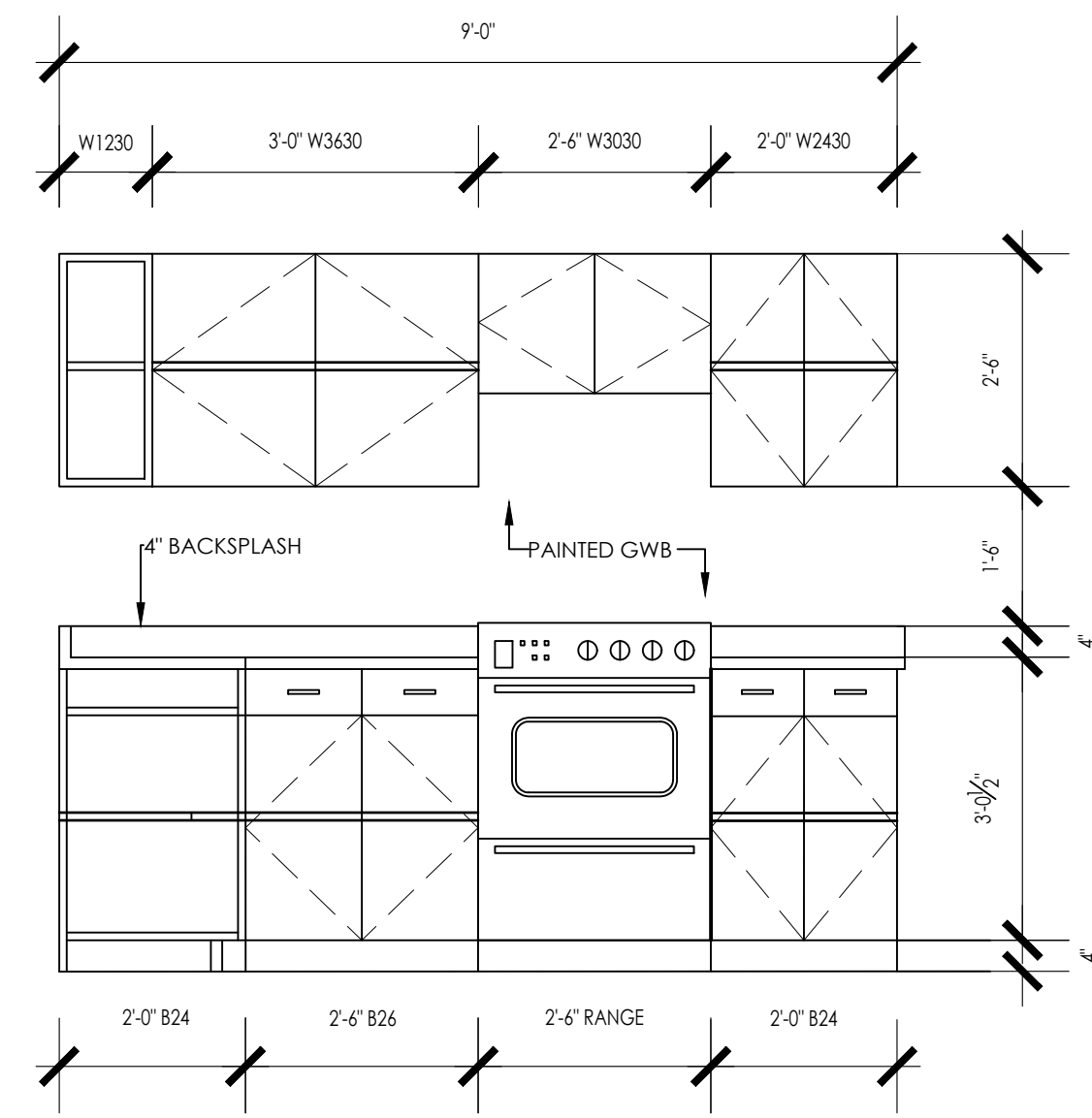
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SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

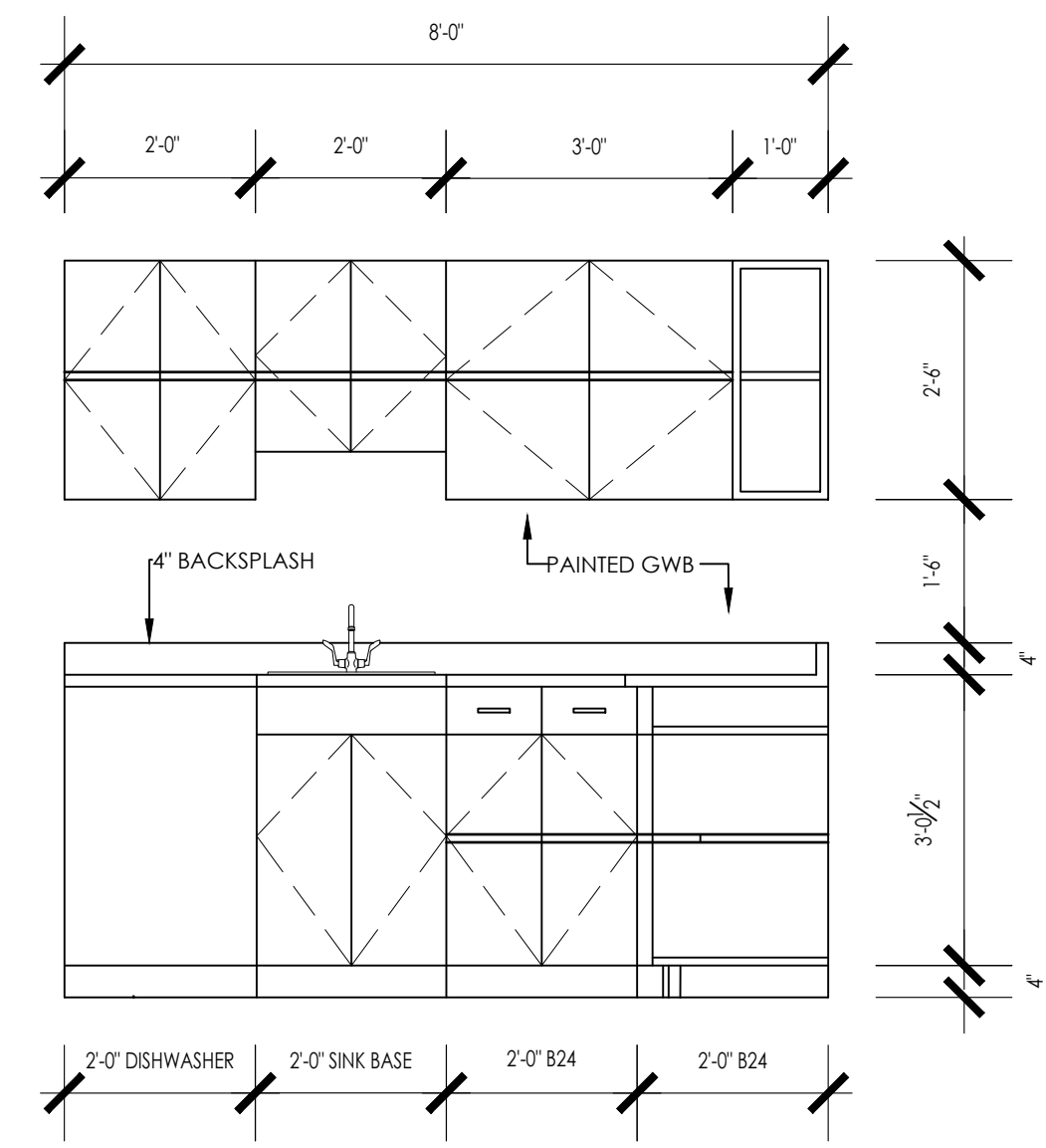
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SHEET NUMBER:

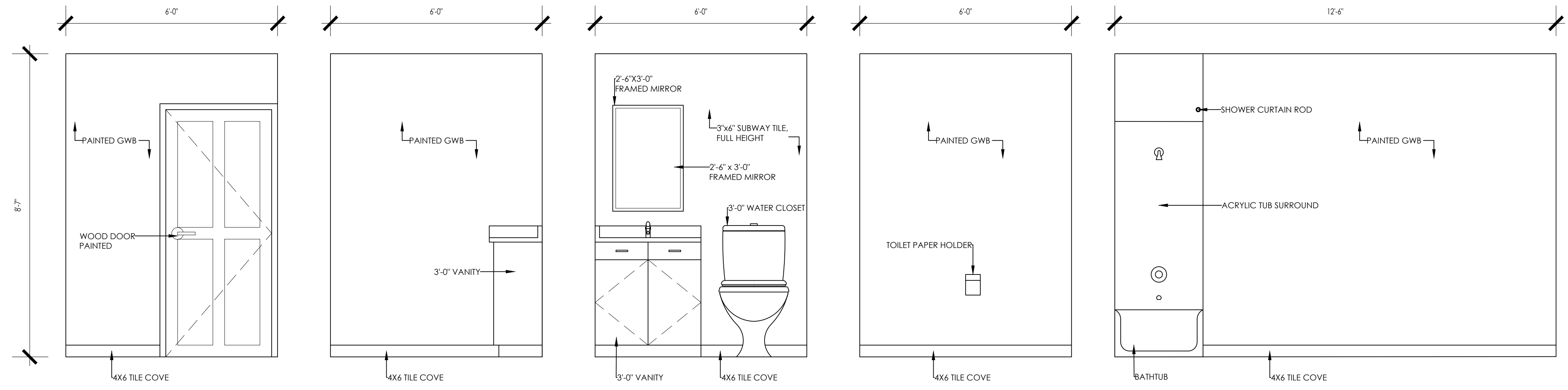
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KITCHEN ELEVATION 'A'



KITCHEN ELEVATION 'B'



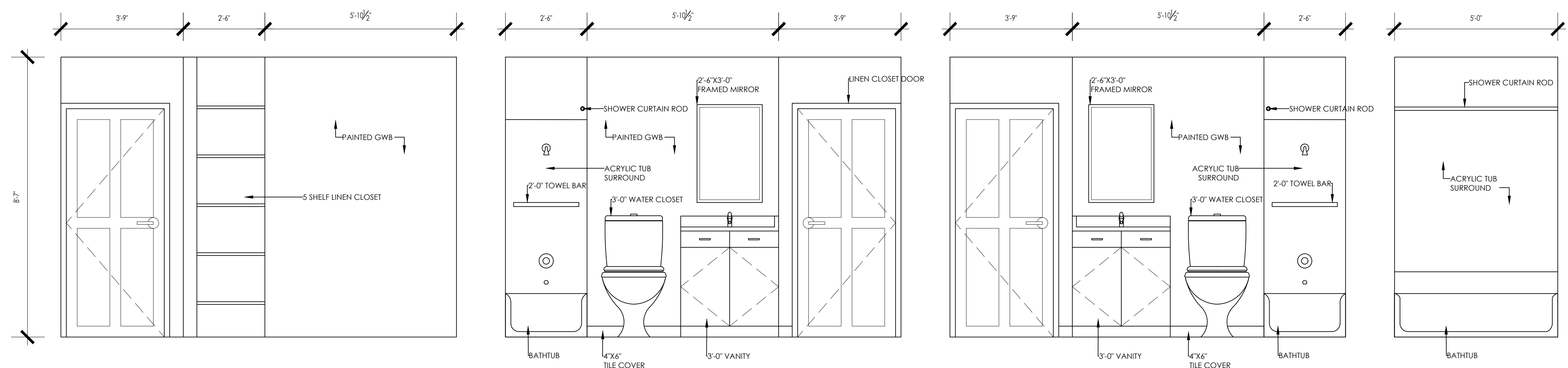
ELEVATION 'A'

ELEVATION 'B'

ELEVATION 'C'

ELEVATION 'D'

ELEVATION 'E'



ELEVATION 'F'

ELEVATION 'G'

ELEVATION 'G'

ELEVATION 'H'



ARCHITECT'S STAMP:

ENGINEER'S STAMP:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

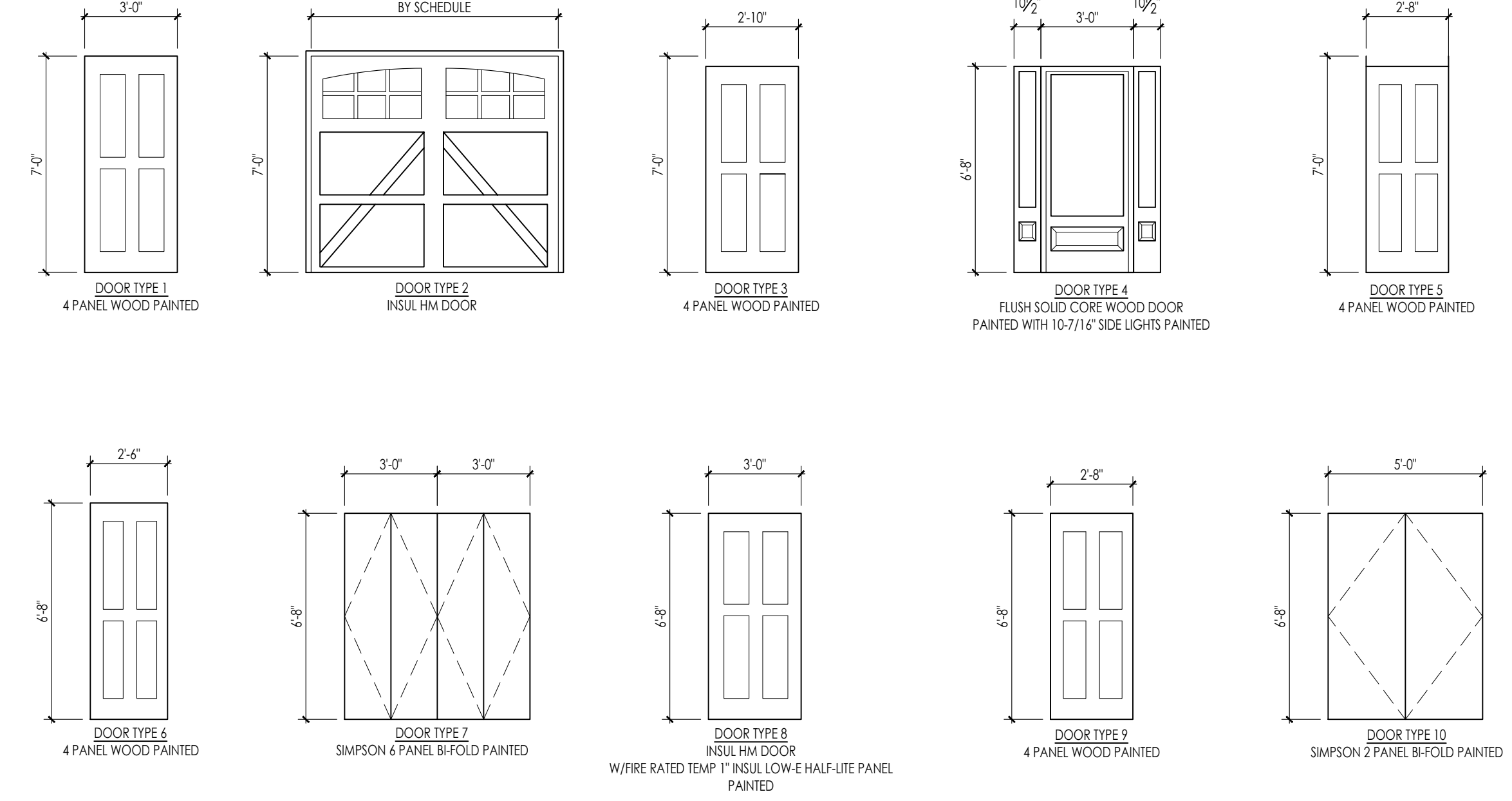
SHEET TITLE:
KITCHEN AND BATHROOM
INTERIOR ELEVATIONS

SHEET NUMBER:
A-6.0

DOOR SCHEDULE

DOOR NUMBER	DOOR				FRAME			HARDWARE														LOCATION	REMARKS			
	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	LABEL	SIZE	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	DETAILS	CONT HINGES	HINGES	LATCH SET	LOCKSET	LOCK	THRESHOLD	CLOSER	TIME-OUT MAGNETIC LOCK	FLUSH / PULL	WEARSTRIPPING & SWEEP	KICK PLATE (AMP RESISTANT)	PANIC HARDWARE			MAGNETIC HOLD-OPEN	OFFSET HINGES (180° OPEN)	ELEC STRIKE

BASEMENT																															
001	1	WD	-	-	3'-0"	7'-0"	-	F1	WD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
002	2	WD	PTD	-	8'-0"	7'-0"	-	F2	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
003	3	WD	PTD	-	2'-10"	6'-8"	1-3/8"	F3	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
004	4	WD	PTD	-	3'-0"	6'-8"	1-3/4"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
005	5	WD	PTD	C-LABEL	2'-8"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
006	6	WD	PTD	-	2'-6"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
007	7	WD	PTD	-	6'-0"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
008	8	WD	PTD	-	3'-0"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
009	9	WD	PTD	-	2'-6"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



DOOR ELEVATIONS 1/4" = 1'-0"

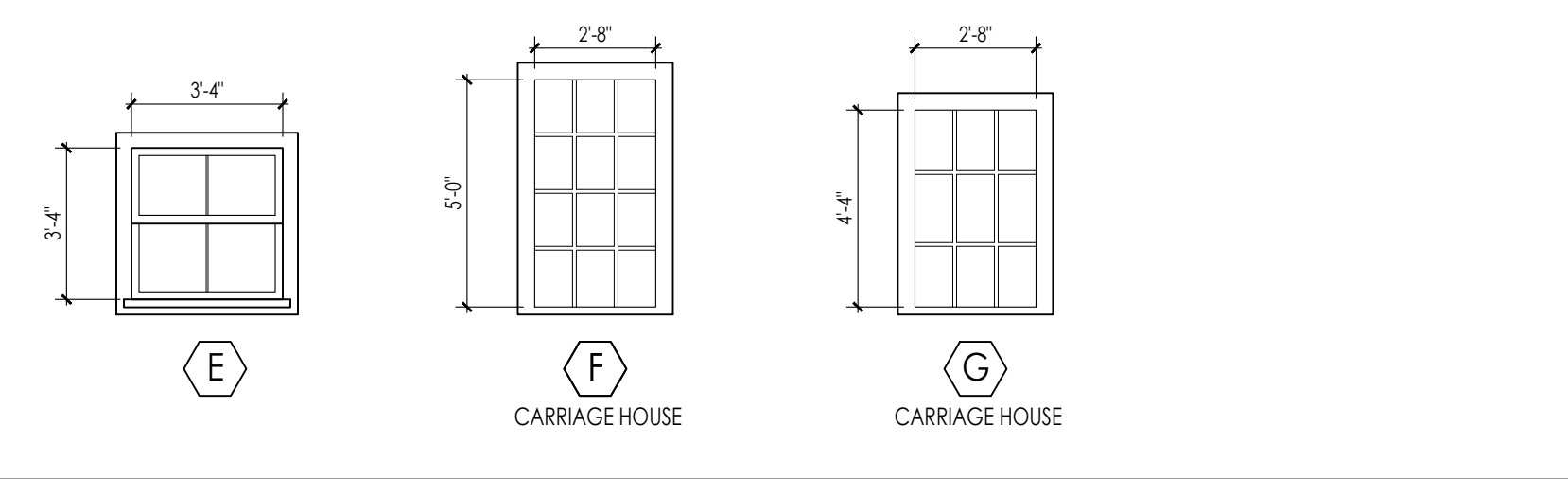
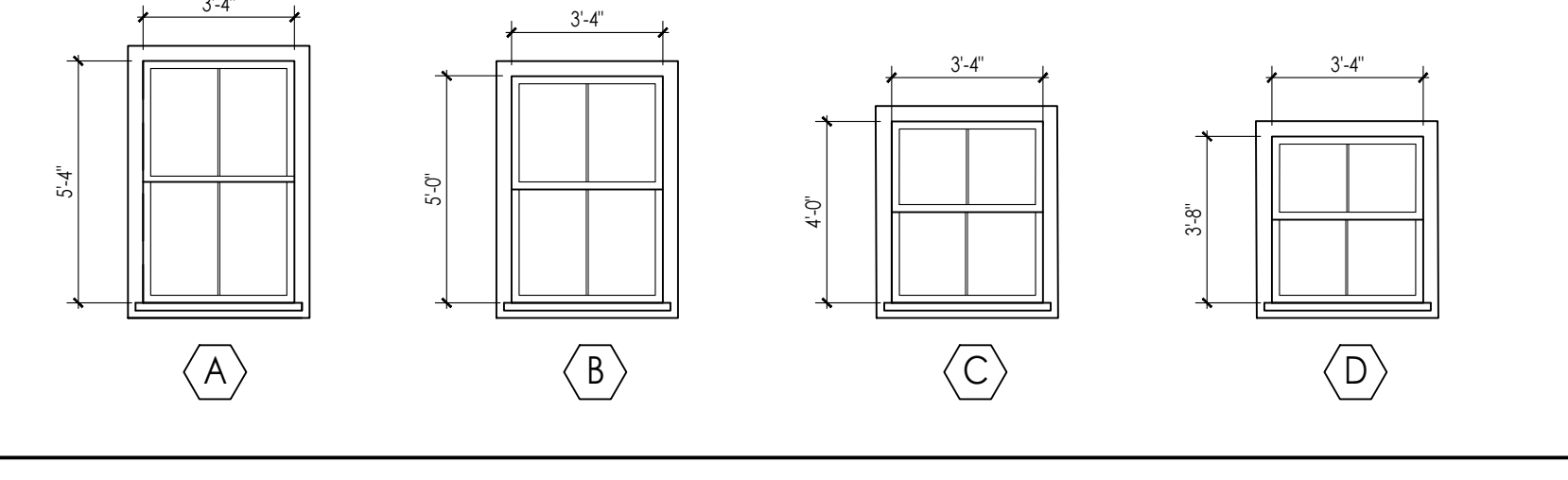
ROOM FINISH SCHEDULE

AREA	FLOOR	BASE	WALLS	CEILING	REMARKS
	LUXURY VINYL TILE	CARPET	12" x 12" CERAMIC TILE	SEALED CONCRETE	WOOD TREADS AND RISERS
	4" VINYL COVE	4" WOOD BASE	3" x 6" CERAMIC COVE	NONE	GWB PAINTED
	GWB PAINTED	GWB PAINTED & SANDED	WET WALL - FULL HEIGHT CERAMIC TILE, SUBWAY TILE	GWB PAINTED	GWB PAINTED & SANDED

GARAGE					
MECH/ELEC					
SPRINKLER					
BASEMENT STAIRS					
LIVING ROOM					
KITCHEN/DINING					
CORRIDORS					
HALF BATHROOM					
1ST-2ND FLOOR STAIRS					
BEDROOM 2					
BEDROOM 1					
BATHS					

WINDOW SCHEDULE

TYPE	MATERIAL	MANUFACTURER	MODEL NUMBER	ROUGH OPENING			REMARKS
				WIDTH	HEIGHT	HEAD RO. AFF.	
A	COMPOSITE	ANDERSEN	ADH3454	3'-4"	5'-4"	6'-8" +/-	1/2 DH LIGHTS, EGRESS
B	COMPOSITE	ANDERSEN	ADH3450	3'-4"	5'-0"	6'-8" +/-	1/2 DH LIGHTS, EGRESS
C	COMPOSITE	ANDERSEN	ADH3440	3'-4"	4'-0"	6'-8" +/-	1/2 DH LIGHTS
D	COMPOSITE	ANDERSEN	ADH3438	3'-4"	3'-8"	6'-8" +/-	1/2 DH LIGHTS
E	COMPOSITE	ANDERSEN	ADH3434	3'-4"	3'-4"	6'-8" +/-	1/2 DH LIGHTS
F	COMPOSITE	ANDERSEN	MATCH EXIST	3'-4"	5'-4"	6'-8" +/-	1/2 DH LIGHTS
G	COMPOSITE	ANDERSEN	MATCH EXIST	3'-4"	4'-0"	6'-8" +/-	3 x 3 DIVIDED LIGHTS



ARCHITECT'S STAMP:

ENGINEER'S STAMP:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	MATERIALS & ENTRY - 03.20.2024
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	03.20.2024
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
DOOR AND WINDOW TYPES,
FINISH SCHEDULE

SHEET NUMBER:

A-8.0

NEW CONSTRUCTION: 111 AUSTIN STREET

PROJECT LOCATION
111 AUSTIN STREET
WORCESTER, MA 01609

RECORD OWNER:
MR. DANIEL YARNIE
89 WEST MAIN STREET, UNIT 101
NORTHBOROUGH, MA 01532

CIVIL ENGINEER
J.M. GRENIER ASSOCIATES, INC.
118 TURNPIKE ROAD, SUITE 200
SOUTHBOROUGH, MA 01752
(T) 508.845.2500

ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

DEVELOPER
POLAR VIEWS
89 WEST MAIN STREET, UNIT 101
NORTHBOROUGH, MA 01532
MR DANIEL YARNIE

STRUCTURAL ENGINEER
ROOME & GUARRACINO, LLC
48 GROVE STREET
SOMERVILLE, MA 02144
MR. CARMINE GUARRACINO, PE
(T) 617.628.1700
GUARRACINO@RGENG.COM

MECHANICAL ENGINEER
AKAL ENGINEERING, INC.
44 CENTRAL STREET
BERLIN, MA 01503
(T) 508.869.0403
MR. ANUP KHATRA
ANUP@AKALENGINEERING.COM

LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES & DETAILS
T-1.2	FIRE RATINGS
SITE	
T-01.0	COVER
2 OF 9	EXISTING CONDITIONS PLANS
4 OF 9	LAYOUT PLAN
5 OF 9	GRAVING AND DRAINAGE PLAN
6 OF 9	UTILITY PLAN
7 OF 9	LANDSCAPE PLAN
8 OF 9	EROSION CONTROL & LANDSCAPE PLAN
9 OF 9	DETAIL PLAN
ARCHITECTURAL	
A-1.0	PROPOSED GROUND FLOOR PLAN
A-1.1	PROPOSED FIRST FLOOR PLAN
A-1.2	PROPOSED SECOND FLOOR PLAN
A-1.3	PROPOSED THIRD FLOOR PLAN
A-1.4	PROPOSED ROOF PLAN
A-2.1	AUSTIN STREET (FRONT) ELEVATION
A-2.2	RIGHT SIDE ELEVATION
A-2.3	REAR ELEVATION
A-2.4	LEFT SIDE ELEVATION
A-2.5	PROPOSED MATERIALS PHOTOS
A-3.0	PROPOSED GROUND FLOOR FINISH PLAN
A-3.1	PROPOSED FIRST FLOOR FINISH PLAN
A-3.2	PROPOSED SECOND FLOOR FINISH PLAN
A-3.3	PROPOSED THIRD FLOOR FINISH PLAN
A-4.0	PROPOSED GROUND FLOOR CEILING PLAN
A-4.1	PROPOSED FIRST FLOOR CEILING PLAN
A-4.2	PROPOSED SECOND FLOOR CEILING PLAN
A-4.3	PROPOSED THIRD FLOOR CEILING PLAN
A-5.0	ENLARGED UNIT PLAN - TYPE 1
A-5.1	ENLARGED UNIT PLAN - TYPE 2
A-6.1	BUILDING SECTION
A-6.2	TYPICAL DETAILS
A-6.3	TYPICAL DETAILS
A-7.0	DOOR SCHEDULE & DETAILS
A-7.1	DOOR SCHEDULE
A-7.2	WINDOW TYPES & DETAILS
A-7.3	WINDOW DETAILS
STRUCTURAL	
S-0.1	GENERAL NOTES
S-0.1A	TESTING & INSPECTION REQUIREMENTS
S-0.2	TYPICAL DETAILS
S-0.3	TYPICAL DETAILS
S-0.4	TYPICAL DETAILS
S-1.0	GROUND FLOOR PLAN
S-1.0A	RAMP PART PLAN & SECTIONS
S-1.1	FIRST FLOOR FRAMING PLAN
S-1.2	SECOND FLOOR FRAMING PLAN
S-1.3	THIRD FLOOR FRAMING PLAN
S-1.4	ROOF FRAMING PLAN
S-2.1	COLUMN SCHEDULE & DETAILS
S-3.1	SECTIONS
S-3.2	SECTIONS
S-3.3	SECTIONS
S-3.4	SECTIONS



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

ABBREVIATIONS

A.C.T	ACOUSTICAL CEILING TILE	A.C.T	ACOUSTIC	MANUFACTURED	MFD
ACST	ABOVE FINISHED FLOOR	ALUM	ALUMINUM	MAR	MARBLE
ALUM	ARCHITECT	ARCH	ARCHITECT	MAS	MASONRY
AVG	AVERAGE	AVG	AVERAGE	MAT	MATERIAL
BM	BEAM	BM	BOARD	MAX	MECHANICAL
BR	BRASS	BR	BRASS	ML	METAL
BRE	BRONZE	BRE	BRONZE	M	METER
BLDG	BUILDING	BLDG	BUILDING	MIR	MIRAMIN
BLFH	BUILT IN	BLFH	BUILT IN	MIS	MISCELLANEOUS
CAB	CABINET	CAB	CABINET	MULL	MULLION
CLG	CEILING	CLG	CEILING	NAT	NATURAL
CL	CENTER LINE	CL	CENTER LINE	NOM	NOMINAL
CM	CENTIMETER	CM	CENTIMETER	NC	NOT IN CONTRACT
CR	CERAMIC	CR	CERAMIC	NIS	NOT TO SCALE
CLR	CLEAR	CLR	CLEAR	NUM	NUMBER
CW	COLD WATER	CW	COLD WATER	OC	ON CENTER
COL	COLUMN	COL	COLUMN	OPG	OPENING
CONC	CONCRETE	CONC	CONCRETE	OPF	OPPOSITE
CHU	CONCRETE MASONRY UNIT	CHU	CONCRETE MASONRY UNIT	PID	PARTITION
CONSTR	CONSTRUCTION	CONSTR	CONSTRUCTION	PLA	PLASTER
CONTR	CONTRACTOR	CONTR	CONTRACTOR	FLAM	FLAME
DEM	DEMOLITION	DEM	DEMOLITION	FLWD	FLYWOOD
DET	DETAIL	DET	DETAIL	P.T.	PRESSURE TREATED
DIA	DIAMETER	DIA	DIAMETER	QTY	QUANTITY
DM	DIMENSION	DM	DIMENSION	QT	QUANTITY
DR	DOOR	DR	DOOR	R	RADIUS
DN	DOWN	DN	DOWN	REF	REFERENCE
DWG	DRAWING	DWG	DRAWING	RENF	REINFORCE
DF	DRAINING FOUNTAIN	DF	DRAINING FOUNTAIN	RMV	REMOVE
EA	EACH	EA	EACH	REQD	REQUIRED
ELEC	ELECTRIC	ELEC	ELECTRIC	REV	REVISION
EW	ELECTRIC WATER COOLER	EW	ELECTRIC WATER COOLER	RS	RIB
EQ	EQUAL	EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	EQUIP	EQUIPMENT	R.O.	ROUGH OPENING
EST	ESTIMATE	EST	ESTIMATE	SCH	SCHEDULE
EXST	EXISTING	EXST	EXISTING	SECT	SECTION
EXT	EXTERIOR	EXT	EXTERIOR	SH	SHEET
FAB	FABRICATE	FAB	FABRICATE	SIM	SIMILAR
FT	FEET	FT	FEET	SIC	SOLID CORE
FRSH	FINISH	FRSH	FINISH	SPEC	SPECIFICATIONS
FAO	FINISHED ALL OVER	FAO	FINISHED ALL OVER	SF	SQUARE FEET
FR	FIREPROOF	FR	FIREPROOF	SQ IN.	SQUARE INCHES
FLR	FLOOR	FLR	FLOOR	SS	STAINLESS STEEL
FLROR	FLORESCENT	FLROR	FLORESCENT	STD	STANDARD
FS	FULL SIZE	FS	FULL SIZE	ST	STEEL
FURN	FURNISH	FURN	FURNISH	STL	STRUCTURAL
GA	GAUGE	GA	GAUGE	SUP	SUSPENDED
GEN	GENERAL	GEN	GENERAL	SYS	SYSTEM
GYP	GYPSONUM BOARD	GYP	GYPSONUM BOARD	TEL	TELEPHONE
GL	GLASS	GL	GLASS	TEMP	TEMPERATURE
GYB	GYPSONUM BOARD	GYB	GYPSONUM BOARD	T&G	TONGUE & GROOVE
HW	HARDWARE	HW	HARDWARE	TR	TREAD
HW	HARDWOOD	HW	HARDWOOD	TR	TYPICAL
HT	HEIGHT	HT	HEIGHT	UNF	UNFINISHED
HC	HOLLOW CORE	HC	HOLLOW CORE	URNAL	URNAL
HOR	HORIZONTAL	HOR	HORIZONTAL	UR	URINAL
HW	HOT WATER	HW	HOT WATER	UR	URINAL
IN	INSULATION	IN	INSULATION	UR	URINAL
INT	INTERIOR	INT	INTERIOR	V	VERIFY IN THE FIELD
JBOX	JUNCTION BOX	JBOX	JUNCTION BOX	VCT	VENT THROUGH ROOF
LAV	LAVATORY	LAV	LAVATORY	W	WARRANTY
LIC	LIGHT	LIC	LIGHT	W	WARRANTY
LN	LINEAR	LN	LINEAR	W	WARRANTY
LNO	LINOLEUM	LNO	LINOLEUM	W	WARRANTY
MFR	MANUFACTURER	MFR	MANUFACTURER	W	WARRANTY
GAUV	GYPSONUM WALL BOARD	GAUV	GYPSONUM WALL BOARD	W	WARRANTY
GWB	GYPSONUM WALL BOARD	GWB	GYPSONUM WALL BOARD	W	WARRANTY
WD	WOOD	WD	WOOD	W	WARRANTY
WDR	WOODRICH IRON	WDR	WOODRICH IRON	W	WARRANTY
YD	YARD	YD	YARD	W	WARRANTY

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	
	EARTH - FILL	
	GRAVEL	
	SAND	
	CONCRETE	
	CONCRETE MASONRY	
	BRICK	
	BITUMINOUS CONCRETE	
	BATT INSULATION	
	RIGID INSULATION	
	WOOD - FRAMING	
	WOOD - FINISH	
	PLYWOOD - SMALL SCALE	
	ACOUSTICAL TILE	
	STEEL	
	ALUMINUM	

SET NO:

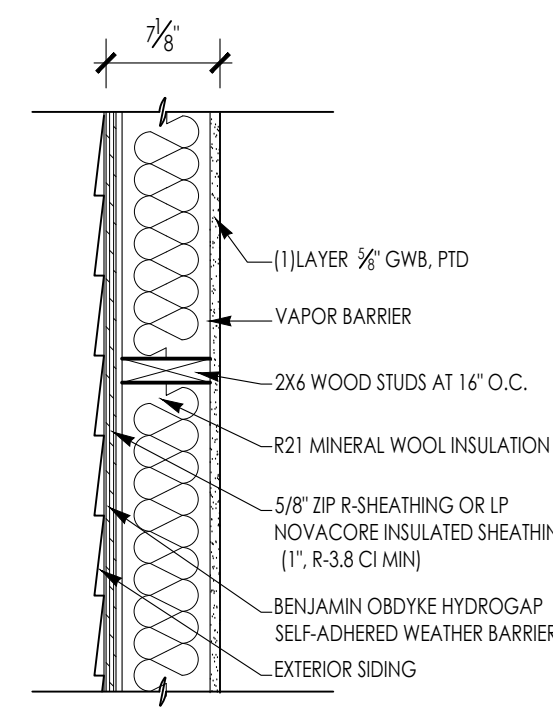


	SCHEMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	
4		
3		
2		
1		
	REVISION DATE	

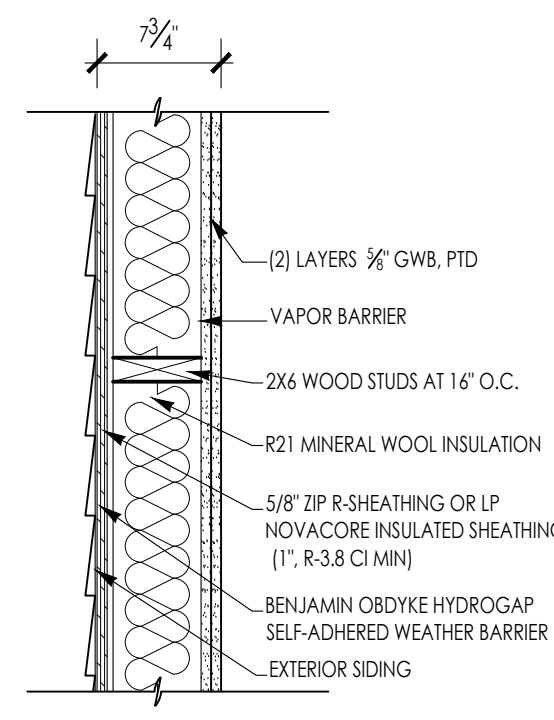
DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH
PROJECT TITLE:	NEW RESIDENTIAL BUILDING 111 AUSTIN STREET WORCESTER, MA 01609
SHEET TITLE:	TITLE SHEET
SHEET NUMBER:	T-1.0

GENERAL CONSTRUCTION NOTES

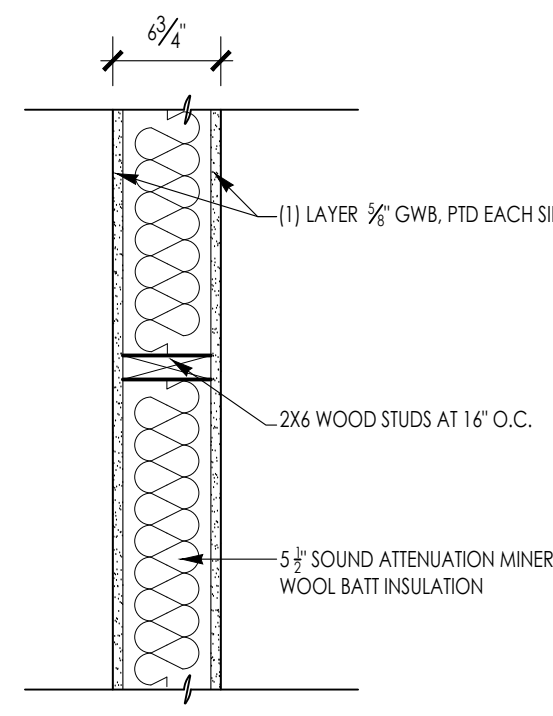
- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



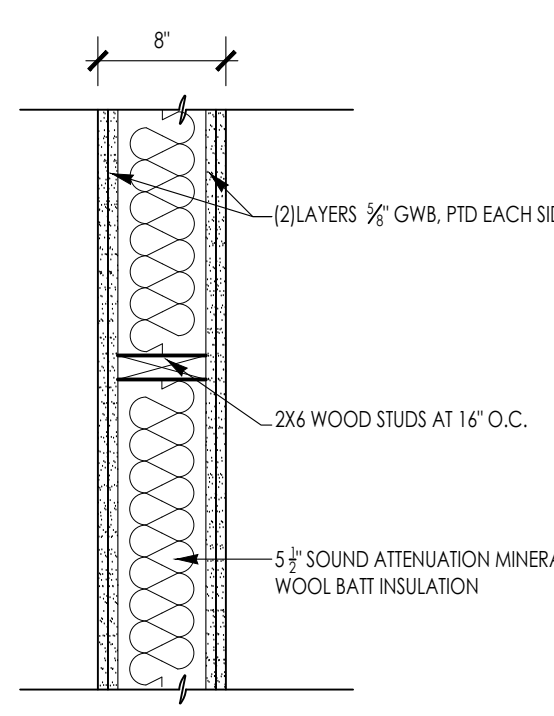
A1 EXTERIOR WALL ASSEMBLY - 1 HOUR RATED
SCALE: 1" = 1'-0"



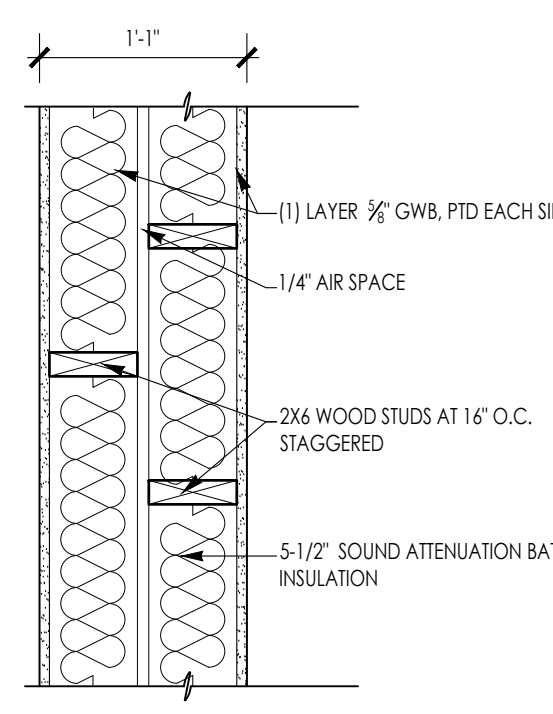
A2 EXTERIOR WALL ASSEMBLY - 2 HOUR RATED
SCALE: 1" = 1'-0"



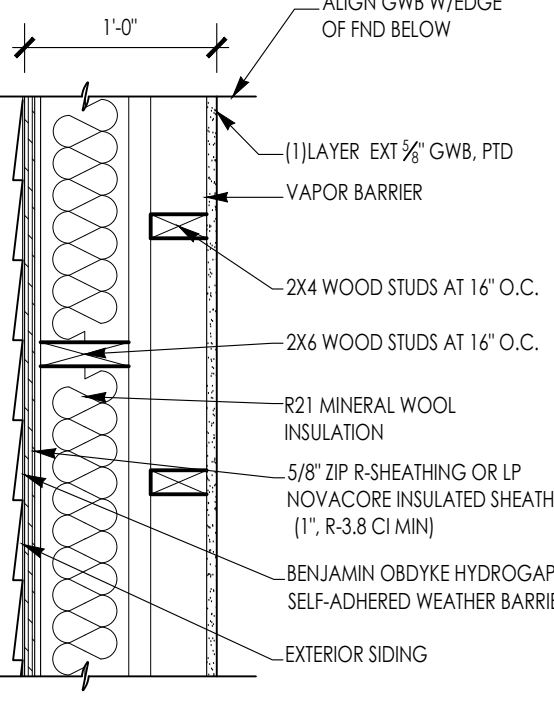
B1 INTERIOR WALL ASSEMBLY - 1 HOUR RATED
SCALE: 1" = 1'-0"



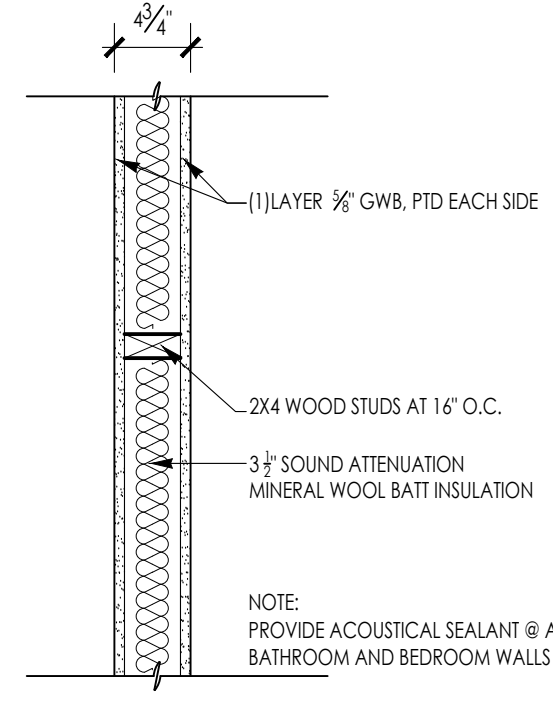
B2 INTERIOR WALL ASSEMBLY - 2 HOUR RATED
SCALE: 1" = 1'-0"



C1 INTERIOR & CHASE WALL ASSEMBLY
SCALE: 1" = 1'-0"



X EXTERIOR WALL ASSEMBLY - 1 HOUR RATED
SCALE: 1" = 1'-0"



D INTERIOR WALL
SCALE: 1" = 1'-0"

BUILDING INFORMATION:	
USE GROUP:	R-2
CONSTRUCTION TYPE:	VA
ALLOWABLE AREA:	36,000 GSF/FLOOR
ALLOWABLE HEIGHT:	4 STORIES/70'
SPRINKLERED:	YES
FIRE SEPARATION:	YES (1-HOUR)
MINIMUM ENERGY CODE VALUES	
GROUP X USES	
ROOF	
ATTIC INSULATION	R-49
WALLS - ABOVE GRADE	R-20 + R-3.8CI
WOOD-FRAMED	
WALLS - BELOW GRADE	R-10 CI
FLOORS	
JOISTS/FRAMING	R-30
SLAB ON GRADE FLOORS	
UNHEATED SLAB	R-20 FOR 24" BELOW
FIXED FENESTRATION	U-0.36
OPERABLE FENESTRATION	U-0.45
EXTRANCE DOORS	U-0.63
SHGC - OPERABLE	
FF-0.2	0.33
0.2-FF-0.5	0.40
0.5-FF	0.53
SHGC - FIXED	
FF-0.2	0.38
0.2-FF-0.5	0.46
0.5-FF	0.61



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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<input type="checkbox"/>	DESIGN DEVELOPMENT	09.12.2022
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	02.14.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

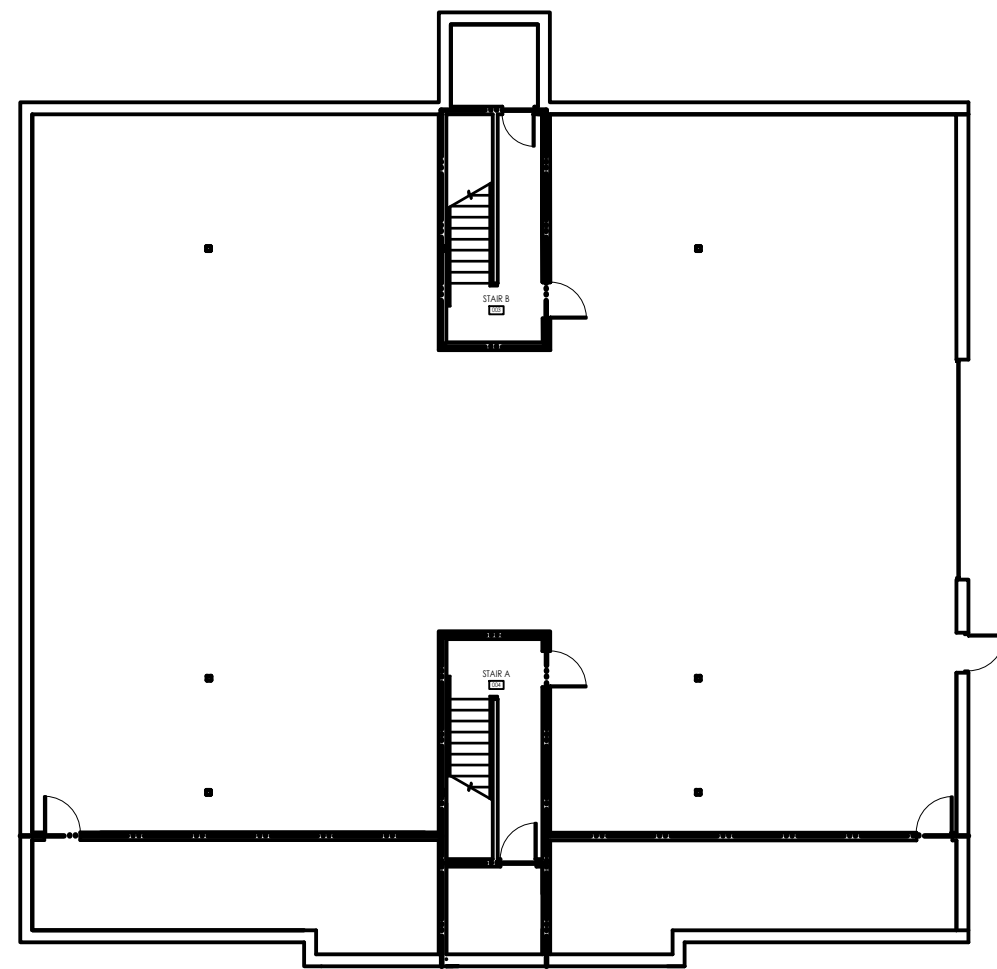
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REVISION DATE	

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH
PROJECT TITLE:	NEW RESIDENTIAL BUILDING 111 AUSTIN STREET WORCESTER, MA 01609

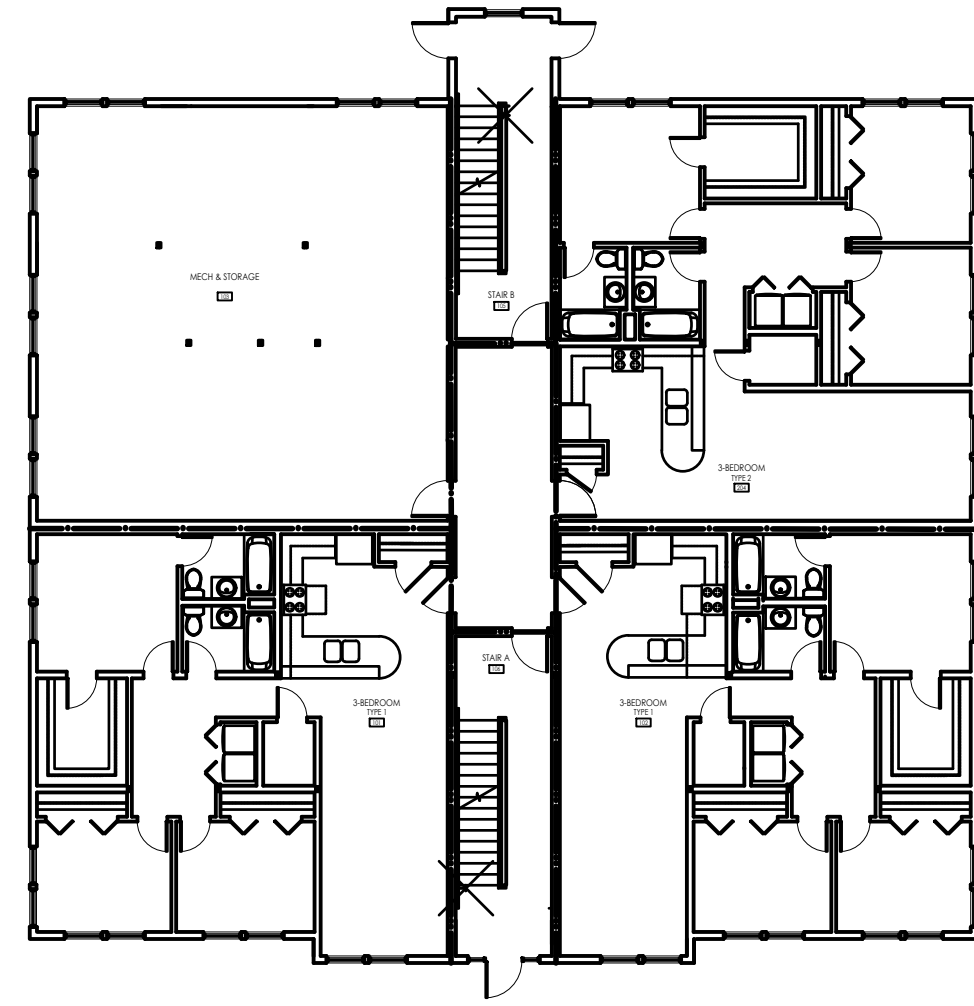
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GENERAL NOTES & DETAILS

SHEET NUMBER:

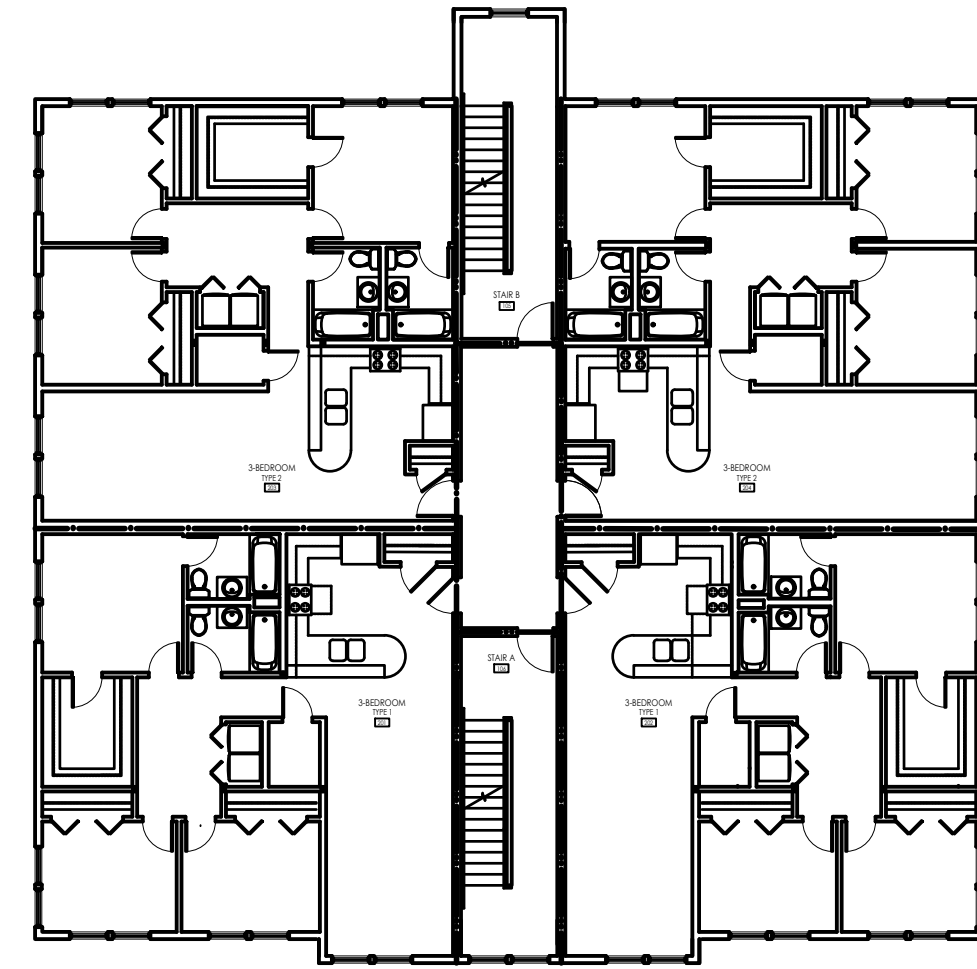
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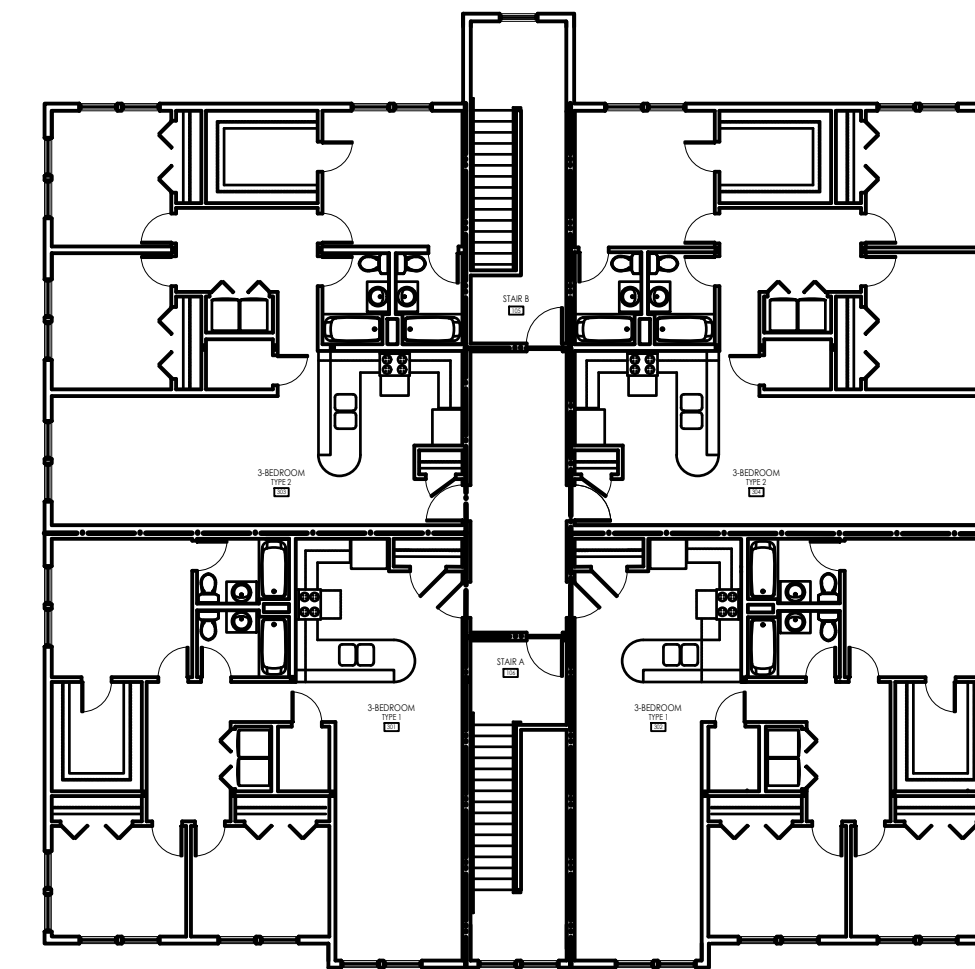
——— 1-HOUR FIRE RATING
 ——— 2-HOUR FIRE RATING
GROUND FLOOR FIRE RATINGS 1
 SCALE: 1/16" = 1'-0" T-1.2



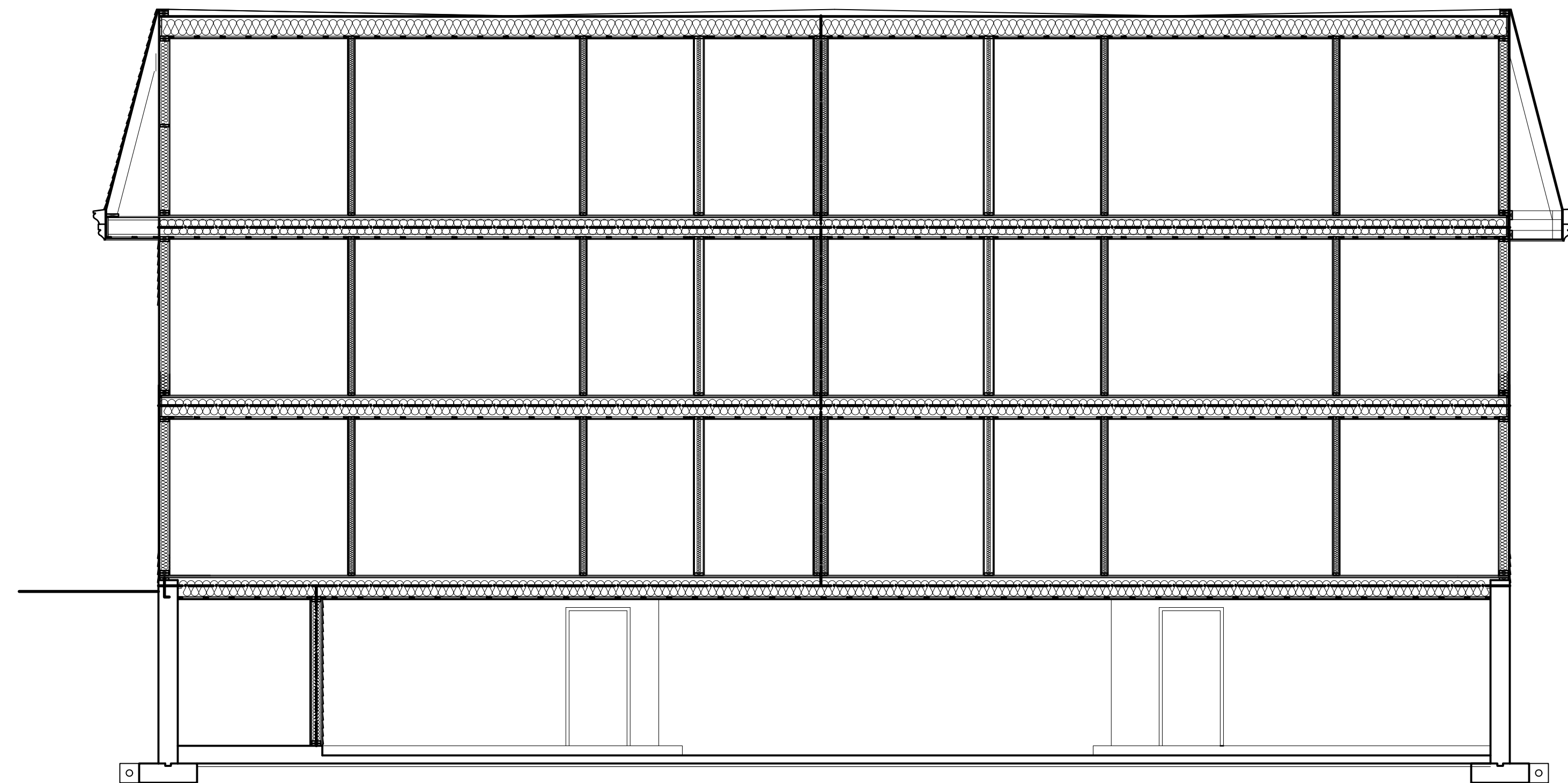
——— 1-HOUR FIRE RATING
 ——— 2-HOUR FIRE RATING
FIRST FLOOR FIRE RATINGS 2
 SCALE: 1/16" = 1'-0" T-1.2



——— 1-HOUR FIRE RATING
 ——— 2-HOUR FIRE RATING
SECOND FLOOR FIRE RATINGS 3
 SCALE: 1/16" = 1'-0" T-1.2



——— 1-HOUR FIRE RATING
 ——— 2-HOUR FIRE RATING
THIRD FLOOR FIRE RATINGS 4
 SCALE: 1/16" = 1'-0" T-1.2



——— 1-HOUR FIRE RATING
 ——— 2-HOUR FIRE RATING
FIRE RATING - SECTION 5
 SCALE: 3/16" = 1'-0" T-1.2

ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
FIRST FLOOR
 300 MAIN STREET
 WORCESTER, MA 01609
 (508) 755-0333
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

□	SCHEMATIC	08.17.2022
□	DESIGN DEVELOPMENT	09.12.2022
□	BID	N/A
□	PERMIT	02.14.2023
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

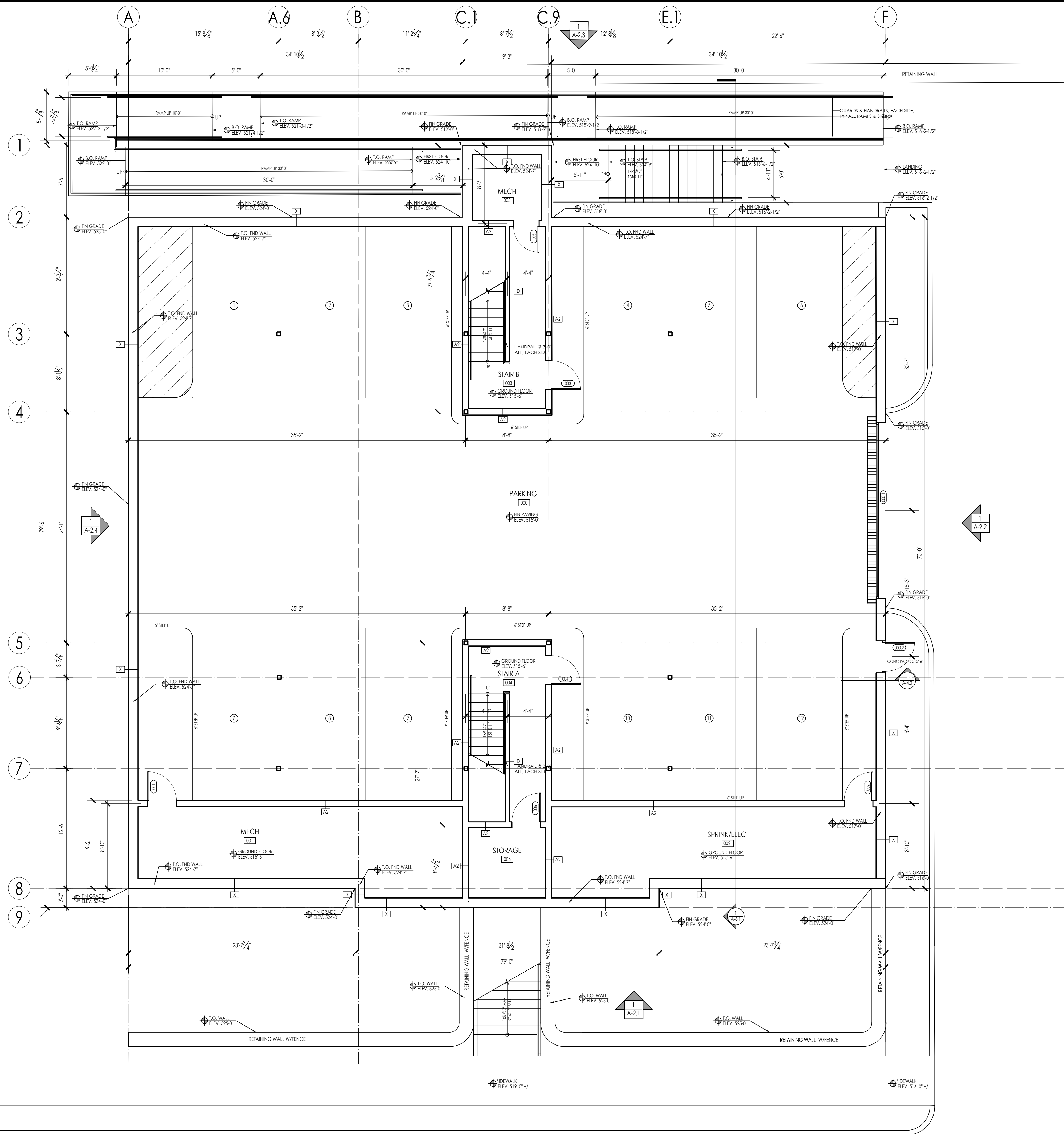
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	REVISION DATE

DATE:	09.12.2022
SCALE:	AS NOTED
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DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 GENERAL NOTES & DETAILS

SHEET NUMBER:
T-1.1



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

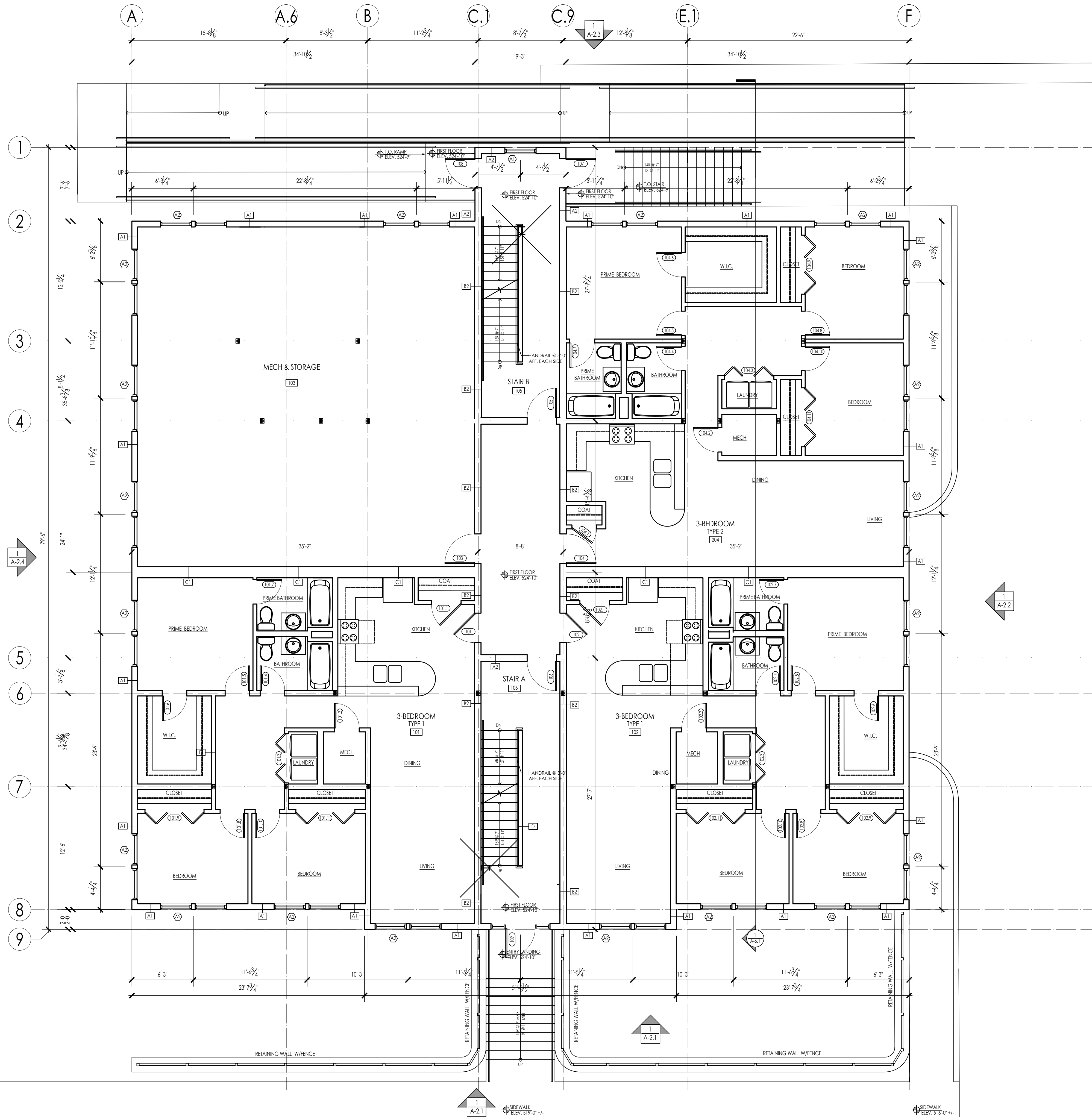
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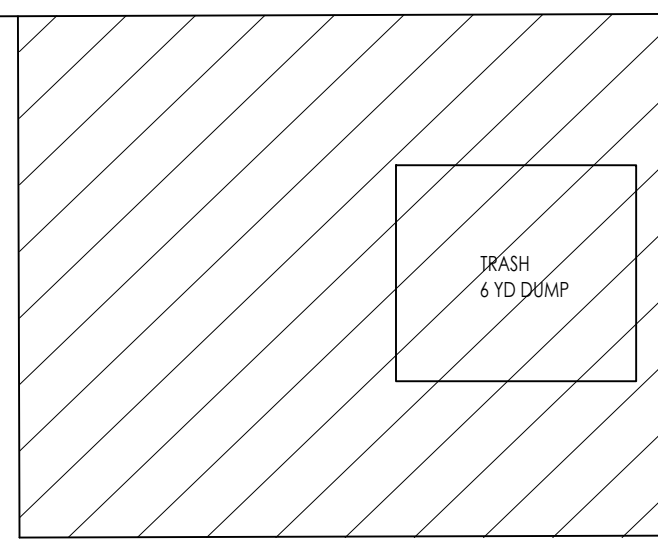
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 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED GROUND FLOOR PLAN

SHEET NUMBER:









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ENGINEER:

ENGINEER'S STAMP:

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	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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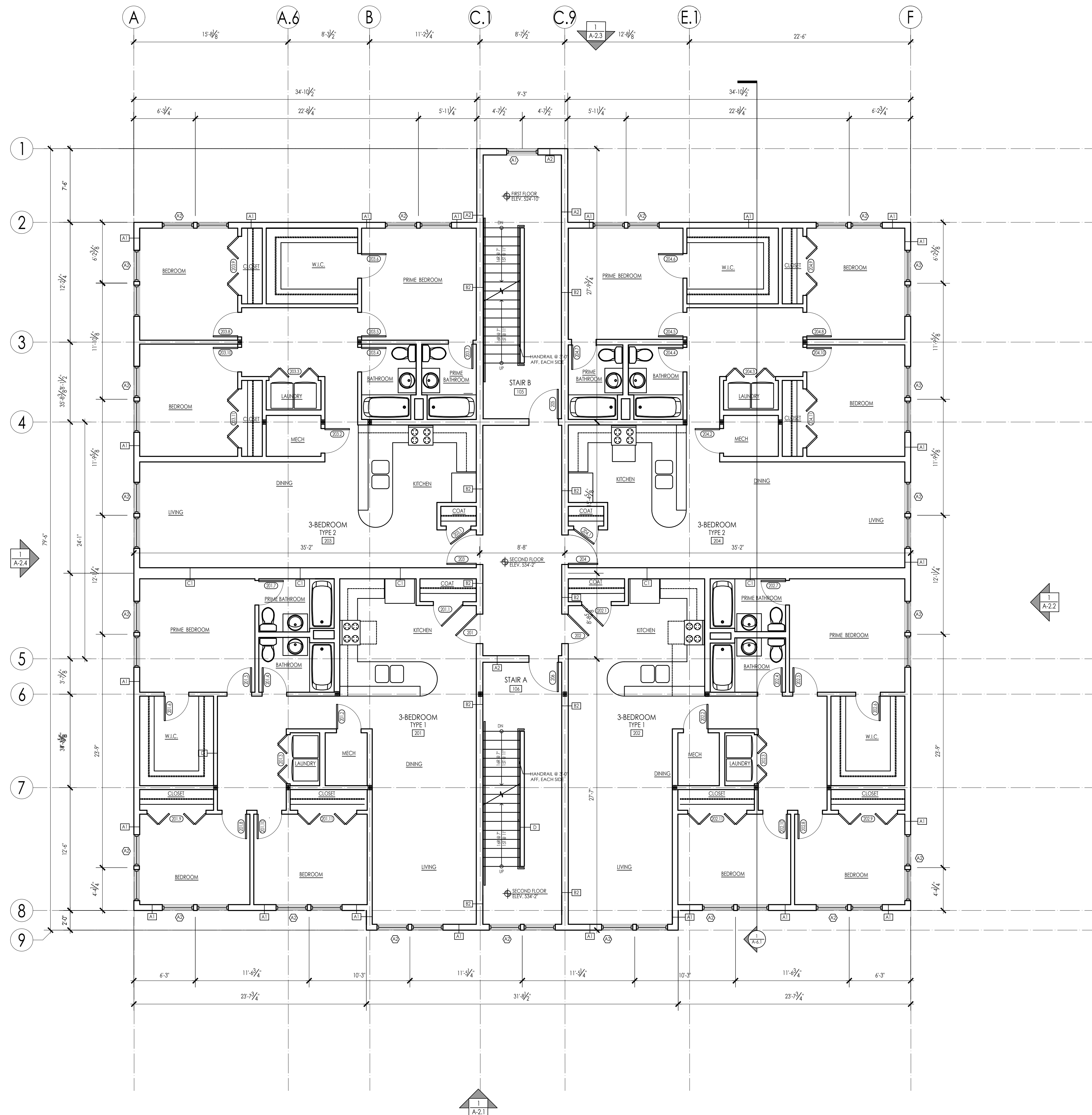
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 PROJECT: -
 DRAWN: JGH
 CHECKED: JGH
 PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED FIRST FLOOR PLAN

SHEET NUMBER:

A-1.1

PROPOSED FIRST FLOOR PLAN 
 SCALE: 3/16" = 1'-0"









ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

NO.	REVISION DATE
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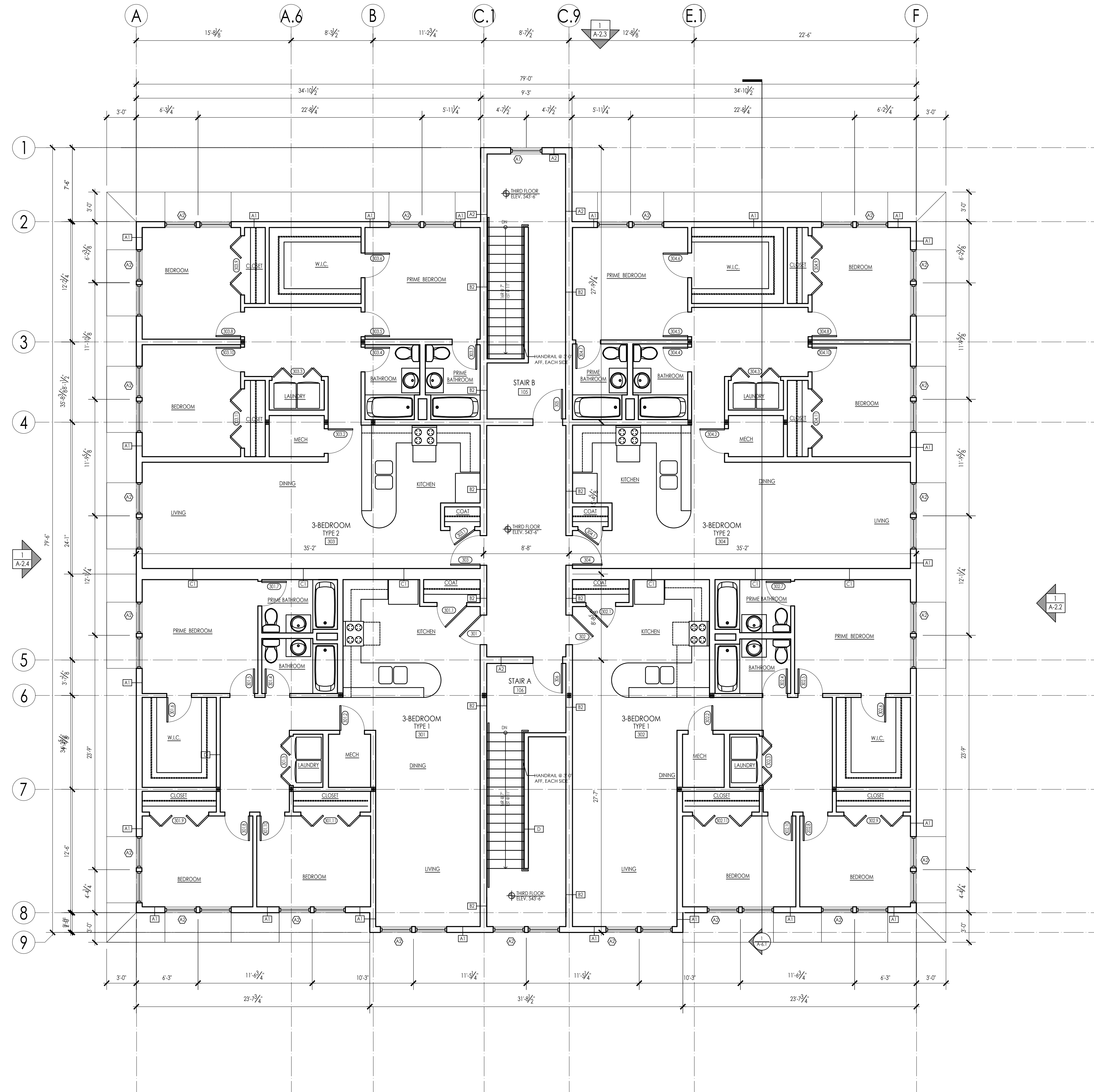
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 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED SECOND FLOOR PLAN

SHEET NUMBER:

A-1.2









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ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED THIRD FLOOR PLAN

SHEET NUMBER:

A-1.3

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

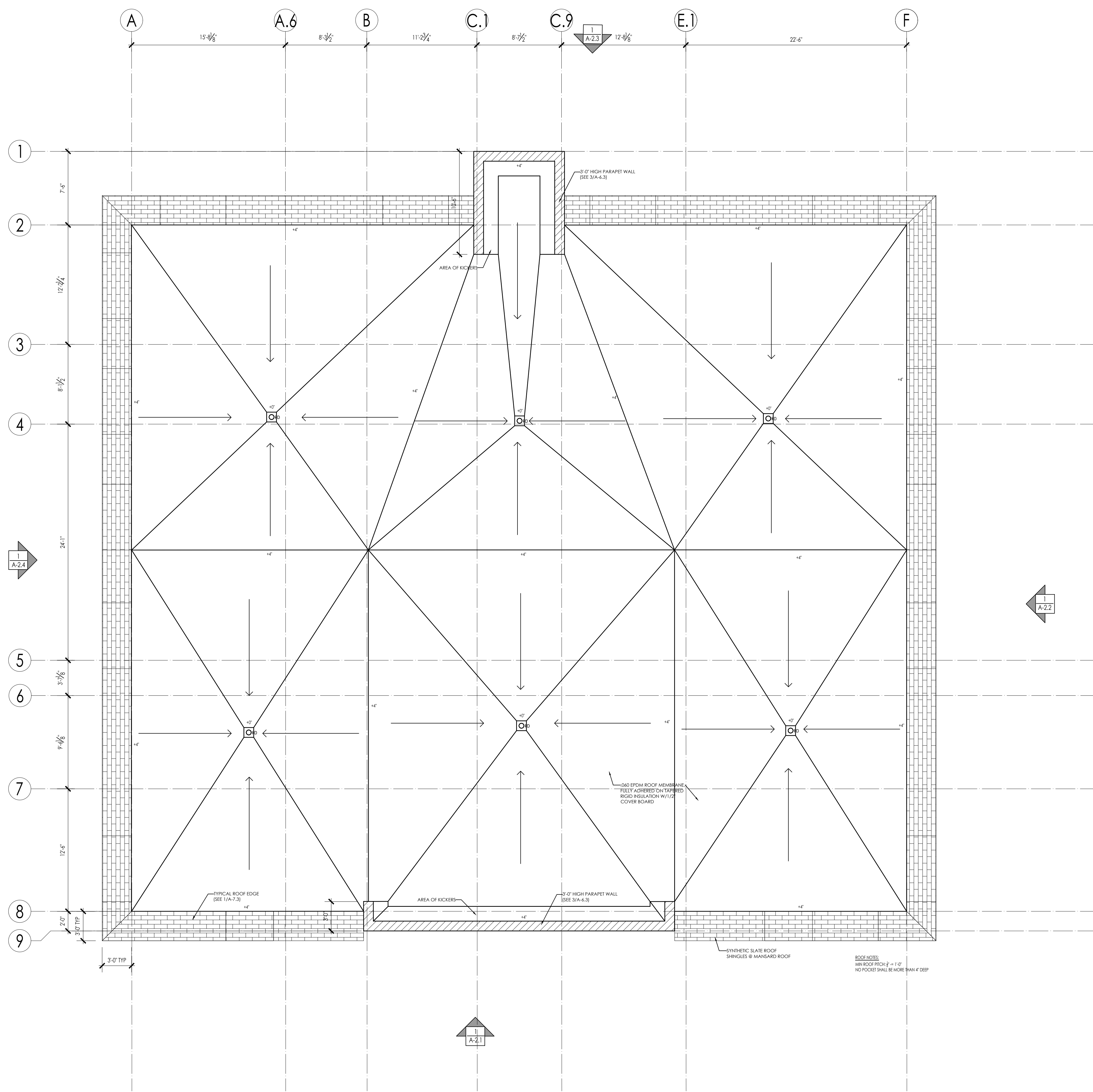
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DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED ROOF PLAN

SHEET NUMBER:



- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 FLAT ROOF - FIRESTONE EPDM ROOF MEMBRANE
 MANSARD ROOF - DIVINCI ROOFSAPES SINGLE-WIDTH SYNTHETIC SLATE, SLATE GRAY
- SIDING MATERIALS:**
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)
 PANEL SYSTEM - FIBER CEMENT PANEL SIMILAR TO WICKHAM FIBER CEMENT PANELS
 CONCRETE - RUBBED CONCRETE FINISH
 DECORATIVE TRIM & MOULDINGS - POLYMER SIDING SIMILAR TO AZEK MOULDINGS
 WINDOW & DOOR TRIM - FIBER CEMENT BOARD TRIM BOARDS SIMILAR TO JAMES HARDIE TRIM BOARDS
- GUARDS & HANDRAILS:**
 GUARDS - DECORATING PAINTED METAL FENCING SIMILAR TO MILLER FENCE CO MONTAGE PLUS FENCE SYSTEM
 HANDRAILS - PAINTED 1-1/2" OUTSIDE DIAMETER STEEL TUBING & INTEGRAL GUARD
- FENESTRATION:**
 GLAZING - CLEAR LOW-E 1" INSULATED GLAZING
 WINDOWS - WOOD WINDOWS SIMILAR TO ANDERSEN A-SERIES WINDOWS
 DOORS - WOOD DOOR SIMILAR TO ANDERSEN WOOD ENTRY DOOR
 OVERHEAD DOOR - STAINED WOOD DOOR SIMILAR TO OVERHEAD DOOR COURTYARD COLLECTION
- RETAINING WALL:**
 UNLOCK SIERRA BLOCK



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 AUSTIN STREET (FRONT) ELEVATION

SHEET NUMBER:

A-2.1



LIST OF MATERIALS

ROOFING MATERIALS:
 FLAT ROOF - FIRESTONE EPDM ROOF MEMBRANE
 MANSARD ROOF - DIVINCI ROOFSCAPES SINGLE-WIDTH SYNTHETIC SLATE, SLATE GRAY

SIDING MATERIALS:
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)
 PANEL SYSTEM - FIBER CEMENT PANEL SIMILAR TO WICKHAM FIBER CEMENT PANELS
 CONCRETE - RUBBED CONCRETE FINISH
 DECORATIVE TRIM & MOULDINGS - POLYMER SIDING SIMILAR TO AZEK MOULDINGS
 WINDOW & DOOR TRIM - FIBER CEMENT BOARD TRIM BOARDS SIMILAR TO JAMES HARDIE TRIM BOARDS

GUARDS & HANDRAILS:
 GUARDS - DECORATING PAINTED METAL FENCING SIMILAR TO MILLER FENCE CO MONTAGE PLUS FENCE SYSTEM
 HANDRAILS - PAINTED 1-1/2" OUTSIDE DIAMETER STEEL TUBING & INTEGRAL GUARD

FENESTRATION:
 GLAZING - CLEAR LOW-E 1" INSULATED GLAZING
 WINDOWS - WOOD WINDOWS SIMILAR TO ANDERSEN A-SERIES WINDOWS
 DOORS - WOOD DOOR SIMILAR TO ANDERSEN WOOD ENTRY DOOR
 OVERHEAD DOOR - STAINED WOOD DOOR SIMILAR TO OVERHEAD DOOR COURTYARD COLLECTION

RETAINING WALL:
 UNLOCK SIERRA BLOCK

ARCHITECT:



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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	REVISION DATE

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 RIGHT SIDE ELEVATION

SHEET NUMBER:

A-2.2



- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 FLAT ROOF - FIRESTONE EPDM ROOF MEMBRANE
 MANSARD ROOF - DIVINCI ROOFSCAPES SINGLE-WIDTH SYNTHETIC SLATE, SLATE GRAY
- SIDING MATERIALS:**
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE FIBER CEMENT LAP SIDING (6" REVEAL)
 PANEL SYSTEM - FIBER CEMENT PANEL SIMILAR TO WICKHAM FIBER CEMENT PANELS
 CONCRETE - RUBBED CONCRETE FINISH
 DECORATIVE TRIM & MOULDINGS - POLYMER SIDING SIMILAR TO AZEK MOULDINGS
 WINDOW & DOOR TRIM - FIBER CEMENT BOARD TRIM BOARDS SIMILAR TO JAMES HARDIE TRIM BOARDS
- GUARDS & HANDRAILS:**
 GUARDS - DECORATING PAINTED METAL FENCING SIMILAR TO MILLER FENCE CO MONTAGE PLUS FENCE SYSTEM
 HANDRAILS - PAINTED 1-1/2" OUTSIDE DIAMETER STEEL TUBING & INTEGRAL GUARD
- FENESTRATION:**
 GLAZING - CLEAR LOW-E 1" INSULATED GLAZING
 WINDOWS - WOOD WINDOWS SIMILAR TO ANDERSEN A-SERIES WINDOWS
 DOORS - WOOD DOOR SIMILAR TO ANDERSEN WOOD ENTRY DOOR
 OVERHEAD DOOR - STAINED WOOD DOOR SIMILAR TO OVERHEAD DOOR COURTYARD COLLECTION
- RETAINING WALL:**
 UNLOCK SIERRA BLOCK

ARCHITECT:



DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET SUITE 200
 WORCESTER, MA 01609
 (508) 752-5333
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

□	SCHEMATIC	08.17.2022
□	DESIGN DEVELOPMENT	09.12.2022
□	BID	N/A
□	PERMIT	02.14.2023
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

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	REVISION DATE

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 REAR ELEVATION

SHEET NUMBER:
A-2.3



- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 FLAT ROOF - FIRESTONE EPDM ROOF MEMBRANE
 MANSARD ROOF - DIVINCI ROOFSCAPES SINGLE-WIDTH SYNTHETIC SLATE, SLATE GRAY
- SIDING MATERIALS:**
 CLAPBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE PLAN LAP SIDING (6" REVEAL)
 PANEL SYSTEM - FIBER CEMENT PANEL SIMILAR TO WICKHAM FIBER CEMENT PANELS
 CONCRETE - RUBBED CONCRETE FINISH
 DECORATIVE TRIM & MOULDINGS - POLYMER SIDING SIMILAR TO AZEK MOULDINGS
 WINDOW & DOOR TRIM - FIBER CEMENT BOARD TRIM BOARDS SIMILAR TO JAMES HARDIE TRIM BOARDS
- GUARDS & HANDRAILS:**
 GUARDS - DECORATING PAINTED METAL FENCING SIMILAR TO MILLER FENCE CO MONTAGE PLUS FENCE SYSTEM
 HANDRAILS - PAINTED 1-1/2" OUTSIDE DIAMETER STEEL TUBING & INTEGRAL GUARD
- FENESTRATION:**
 GLAZING - CLEAR LOW-E 1" INSULATED GLAZING
 WINDOWS - WOOD WINDOWS SIMILAR TO ANDERSEN A-SERIES WINDOWS
 DOORS - WOOD DOOR SIMILAR TO ANDERSEN WOOD ENTRY DOOR
 OVERHEAD DOOR - STAINED WOOD DOOR SIMILAR TO OVERHEAD DOOR COURTYARD COLLECTION
- RETAINING WALL:**
 UNLOCK SIERRA BLOCK

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 LEFT SIDE ELEVATION

SHEET NUMBER:

A-2.4





EPDM ROOFING - FIRESTONE FULLY ADHERED BLACK EPDM ROOFING



RUBBED CONCRETE FOUNDATION WALL



ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE



ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE

LIST OF MATERIALS

ROOFING MATERIALS:
FLAT ROOF - FIRESTONE EPDM ROOF MEMBRANE
MANSARD ROOF - DIVINCI ROOFSAPES SINGLE-WIDTH SYNTHETIC SLATE, SLATE GRAY

SIDING MATERIALS:
CLAYBOARD SIDING - FIBER CEMENT LAP SIDING SIMILAR TO JAMES HARDIE FLAN LAP SIDING (6" REVEAL)
PANEL SYSTEM - FIBER CEMENT PANEL SIMILAR TO NICHHA FIBER CEMENT PANELS
CONCRETE - RUBBED CONCRETE FINISH
DECORATIVE TRIM & MOULDINGS - POLYMER SIDING SIMILAR TO AZEK MOULDINGS
WINDOW & DOOR TRIM - FIBER CEMENT BOARD TRIM BOARDS SIMILAR TO JAMES HARDIE TRIM BOARDS

GUARDS & HANDRAILS:
GUARDS - DECORATING-PAINTED METAL FENCING SIMILAR TO MILLER FENCE CO MONTAGE PLUS FENCE SYSTEM
HANDRAILS - PAINTED 1-1/2" OUTSIDE DIAMETER STEEL TUBING & INTEGRAL GUARD

FENESTRATION:
GLAZING - CLEAR LOW-E 1" INSULATED GLAZING
WINDOWS - WOOD WINDOWS SIMILAR TO ANDERSEN A-SERIES WINDOWS
DOORS - WOOD DOOR SIMILAR TO ANDERSEN WOOD ENTRY DOOR
OVERHEAD DOOR - STAINED WOOD DOOR SIMILAR TO OVERHEAD DOOR COURTYARD COLLECTION

RETAINING WALL:
UNILCOK SIERRA BLOCK

ARCHITECT:



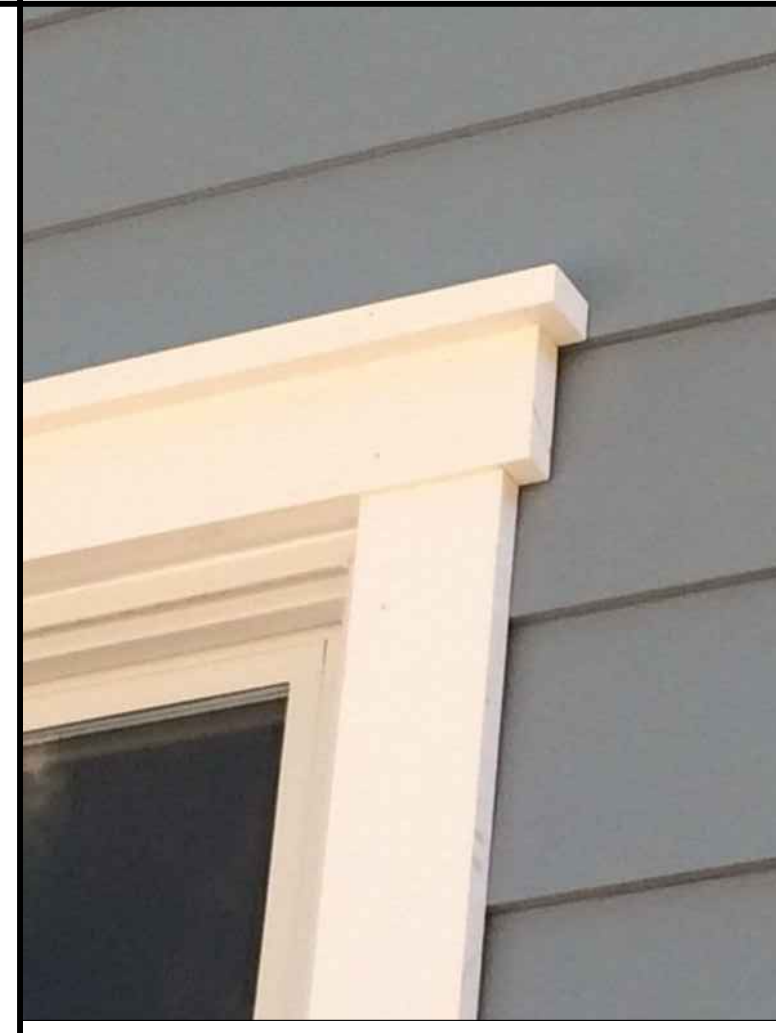
ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:



FENCE - MILLER FENCE COMPANY, MONTAGE PLUS, BLACK



COMPOSITE TRIM, PAINTED WHITE



OVERHEAD DOOR COMPANY COURTYARD COLLECTION - WHITE



JAMES HARDIE FIBER CEMENT SIDING - COUNTRYLANE RED



HANDRAILS - STEEL HANDRAILS & POSTS PAINTED BLACK



COMPOSITE TRIM, PAINTED WHITE



NICHHA FIBER EMPIREBLOCK CEMENT PANELS



UNILCOK SIERRA BLOCK RETAINING WALL

GENERAL INFORMATION:

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<input type="checkbox"/>	DESIGN DEVELOPMENT	09.12.2022
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	02.14.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

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	REVISION DATE

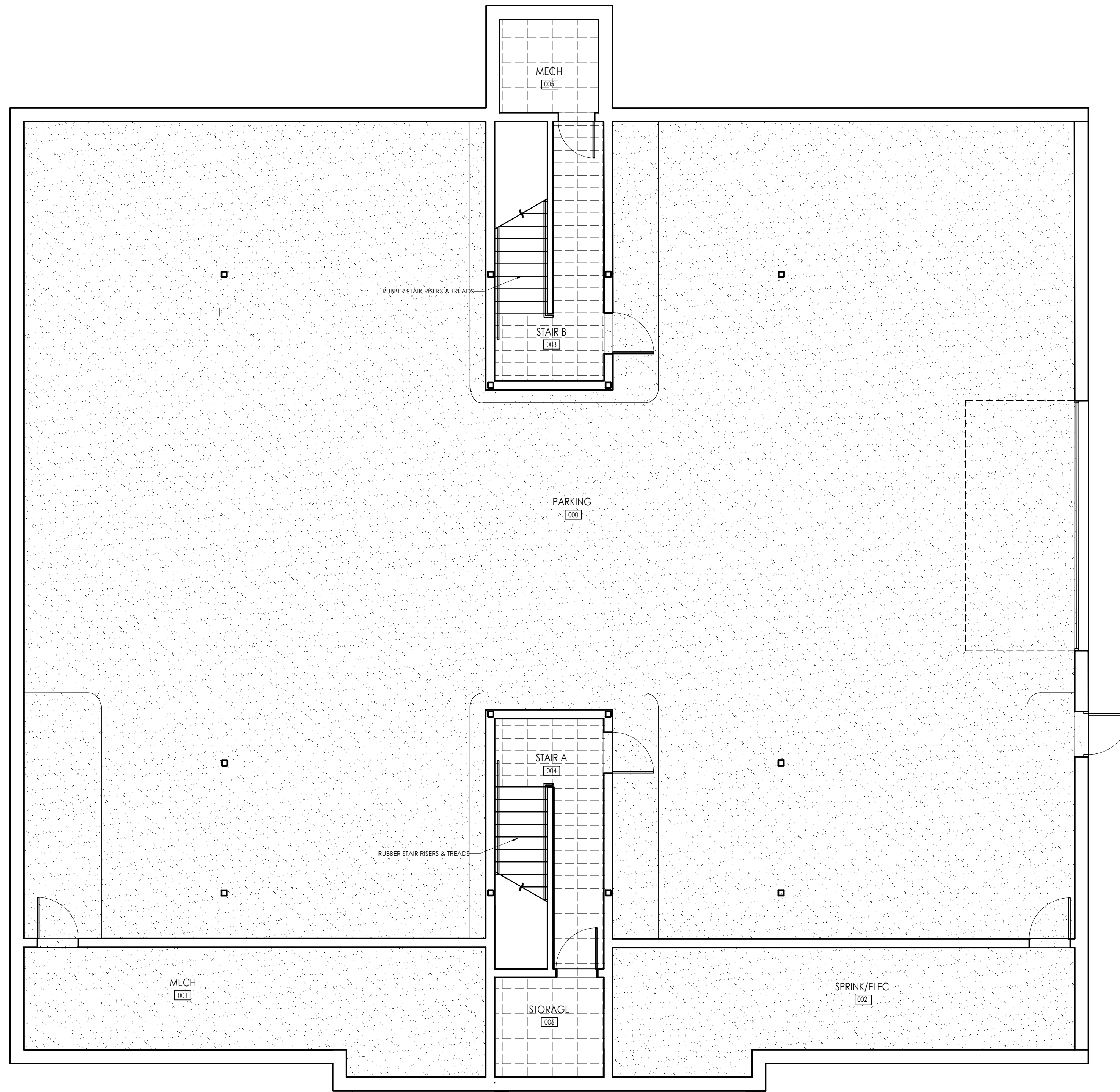
DATE: 09.12.2022
SCALE: AS NOTED
PROJECT: - -
DRAWN: JGH
CHECKED: JGH

PROJECT TITLE:
NEW RESIDENTIAL BUILDING
111 AUSTIN STREET
WORCESTER, MA 01609

SHEET TITLE:
PROPOSED MATERIALS PHOTOS

SHEET NUMBER:

A-2.5



FINISH LEGEND

- 24 X 24 CARPET TILE
- 12 X 12 CERAMIC TILE
- LUXURY VINYL TILE
- CONCRETE
- LUXURY VINYL TILE (CORRIDOR)

ARCHITECT:
DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WORCESTER, MASSACHUSETTS 01609
 (508) 755-0333 (F) (508) 752-5368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

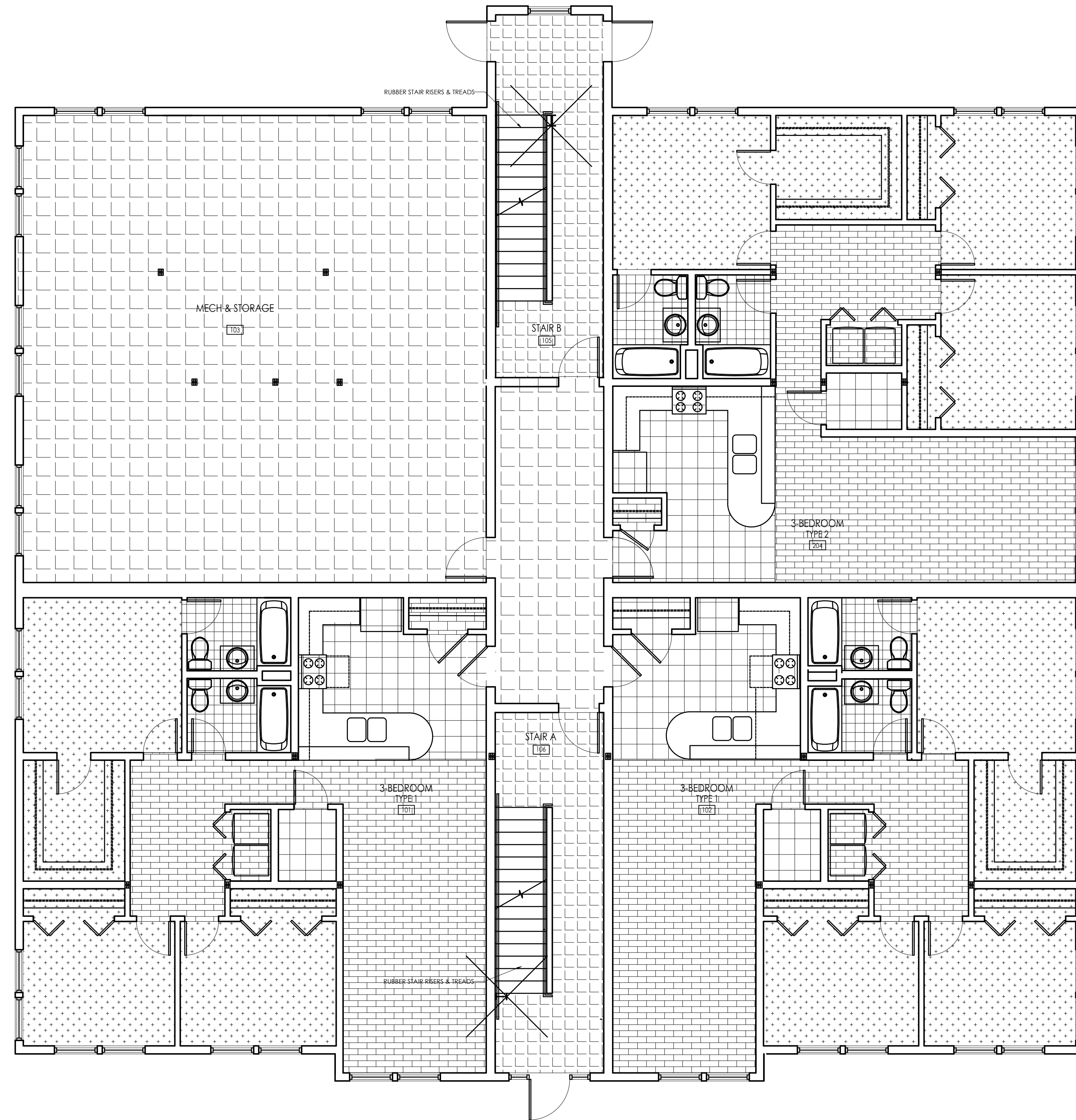
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	REVISION DATE

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED GROUND FLOOR FINISH PLAN

SHEET NUMBER:
A-3.0



FINISH LEGEND

- 24 X 24 CARPET TILE
- 12 X 12 CERAMIC TILE
- LUXURY VINYL TILE
- CONCRETE
- LUXURY VINYL TILE (CORRIDOR)

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WORCESTER, MA 01609
 (508) 755-0333 (C) 508-372-5348
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

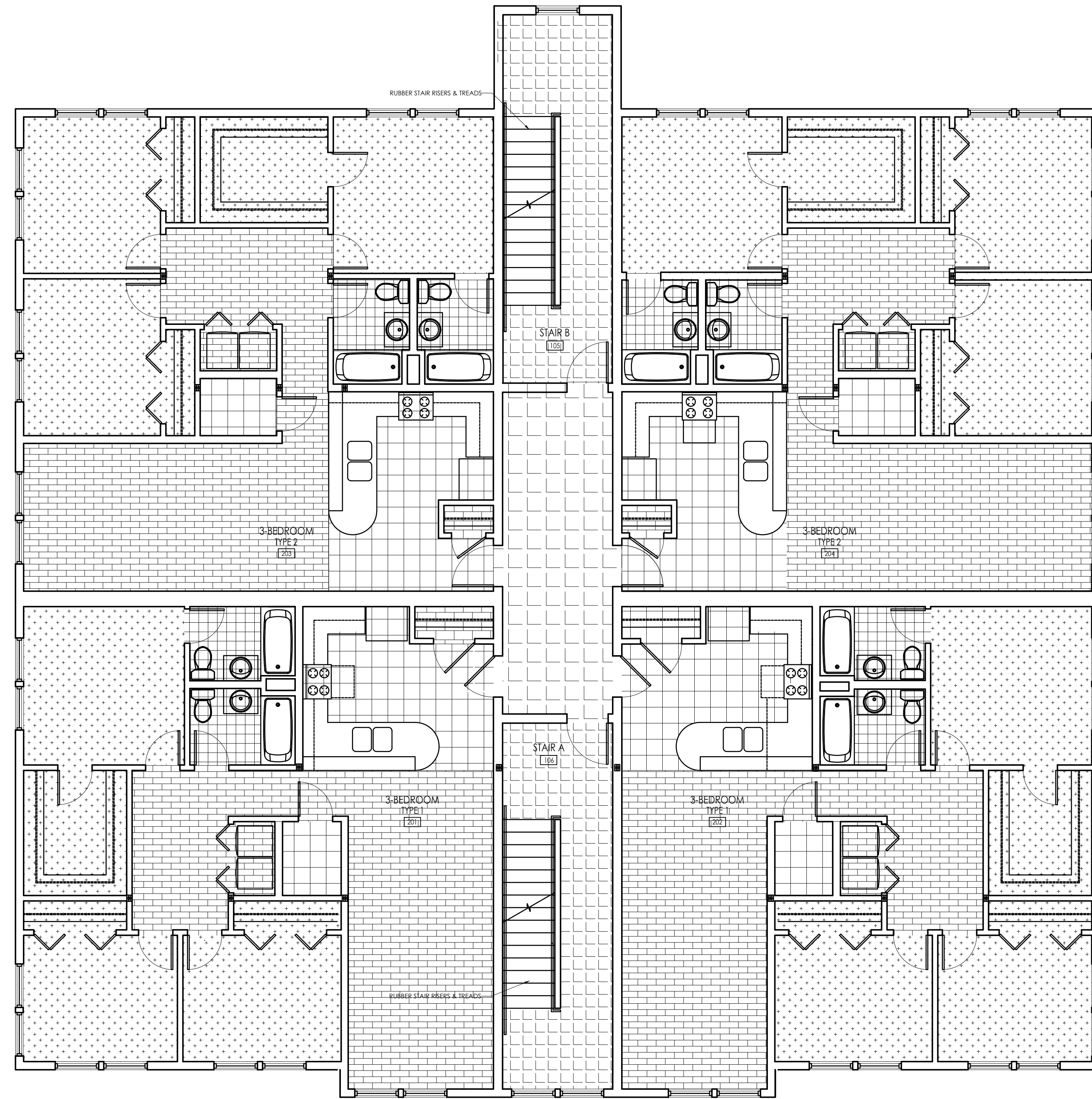
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	REVISION DATE

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED FIRST FLOOR FINISH PLAN

SHEET NUMBER:



FINISH LEGEND

- 24 X 24 CARPET TILE
- 12 X 12 CERAMIC TILE
- LUXURY VINYL TILE
- CONCRETE
- LUXURY VINYL TILE (CORRIDOR)

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

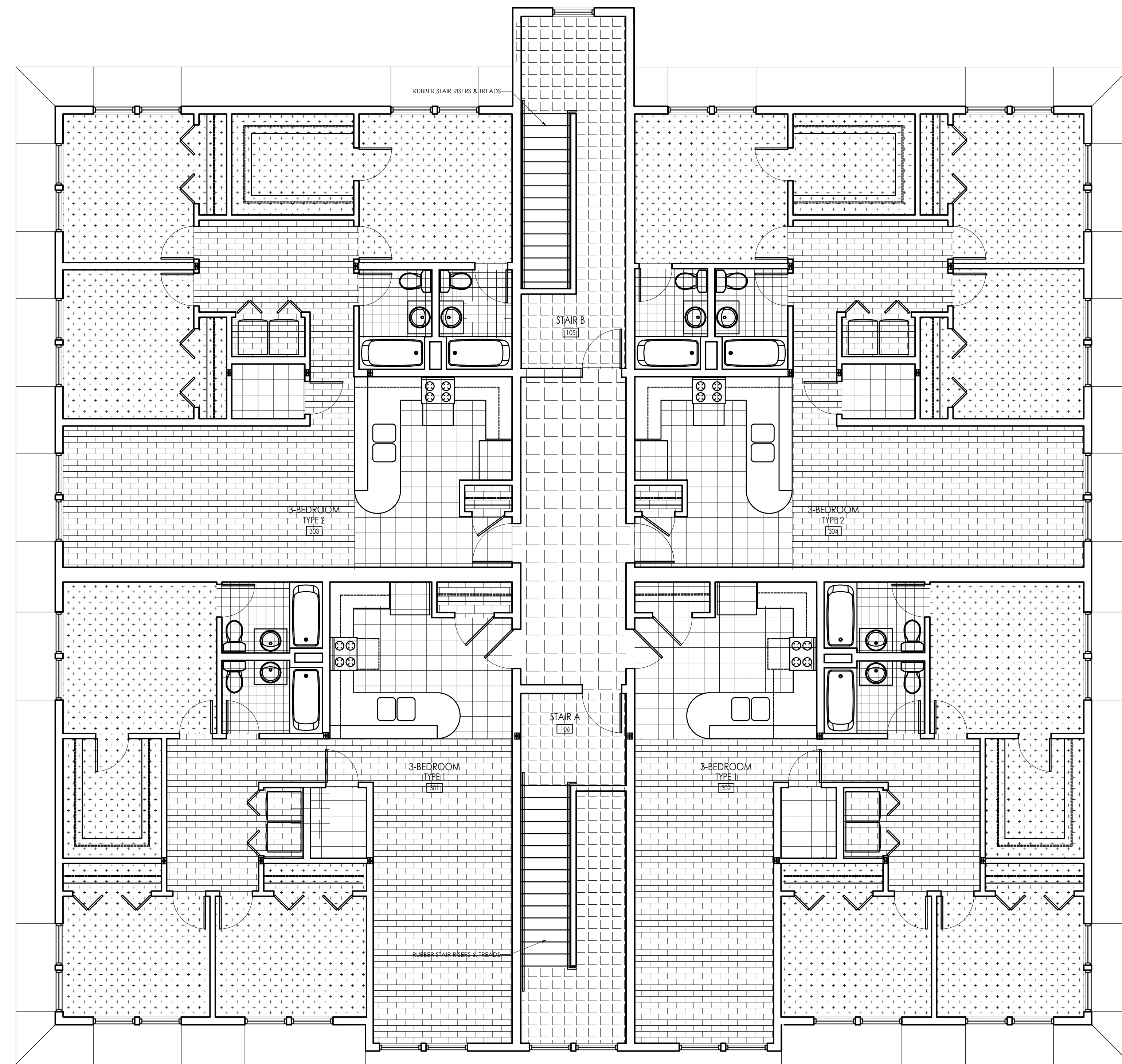
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DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH






PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED SECOND FLOOR FINISH PLAN

SHEET NUMBER:



FINISH LEGEND

-  24 X 24 CARPET TILE
-  12 X 12 CERAMIC TILE
-  LUXURY VINYL TILE
-  CONCRETE
-  LUXURY VINYL TILE (CORRIDOR)

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

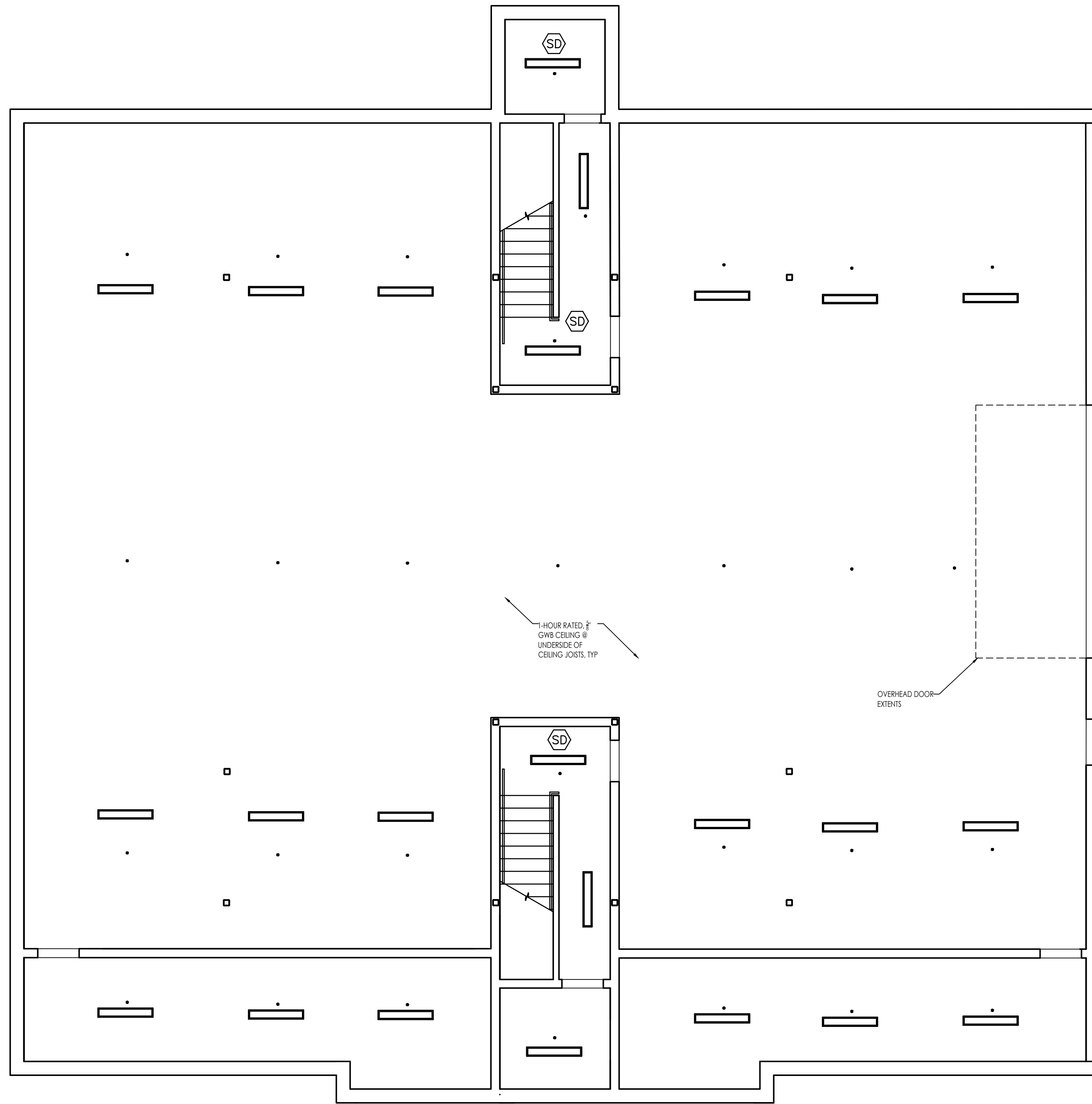
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	REVISION DATE

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED THIRD FLOOR FINISH PLAN

SHEET NUMBER:



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

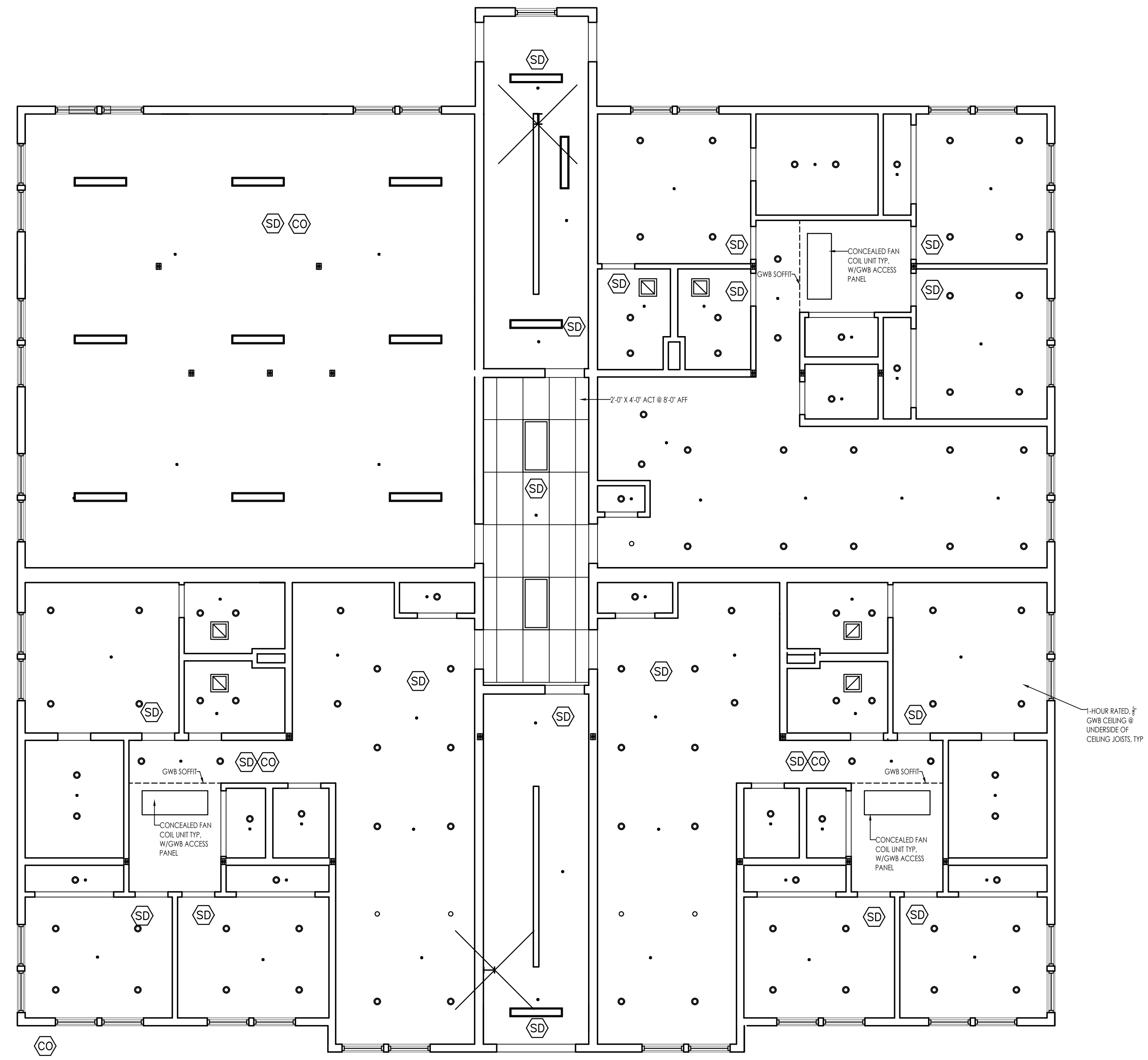
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	REVISION DATE

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED GROUND FLOOR CEILING PLAN

SHEET NUMBER:



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED FIRST FLOOR CEILING PLAN







SHEET NUMBER:

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	08.17.2022
	DESIGN DEVELOPMENT	09.12.2022
	BID	N/A
	PERMIT	02.14.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

NO.	REVISION DATE
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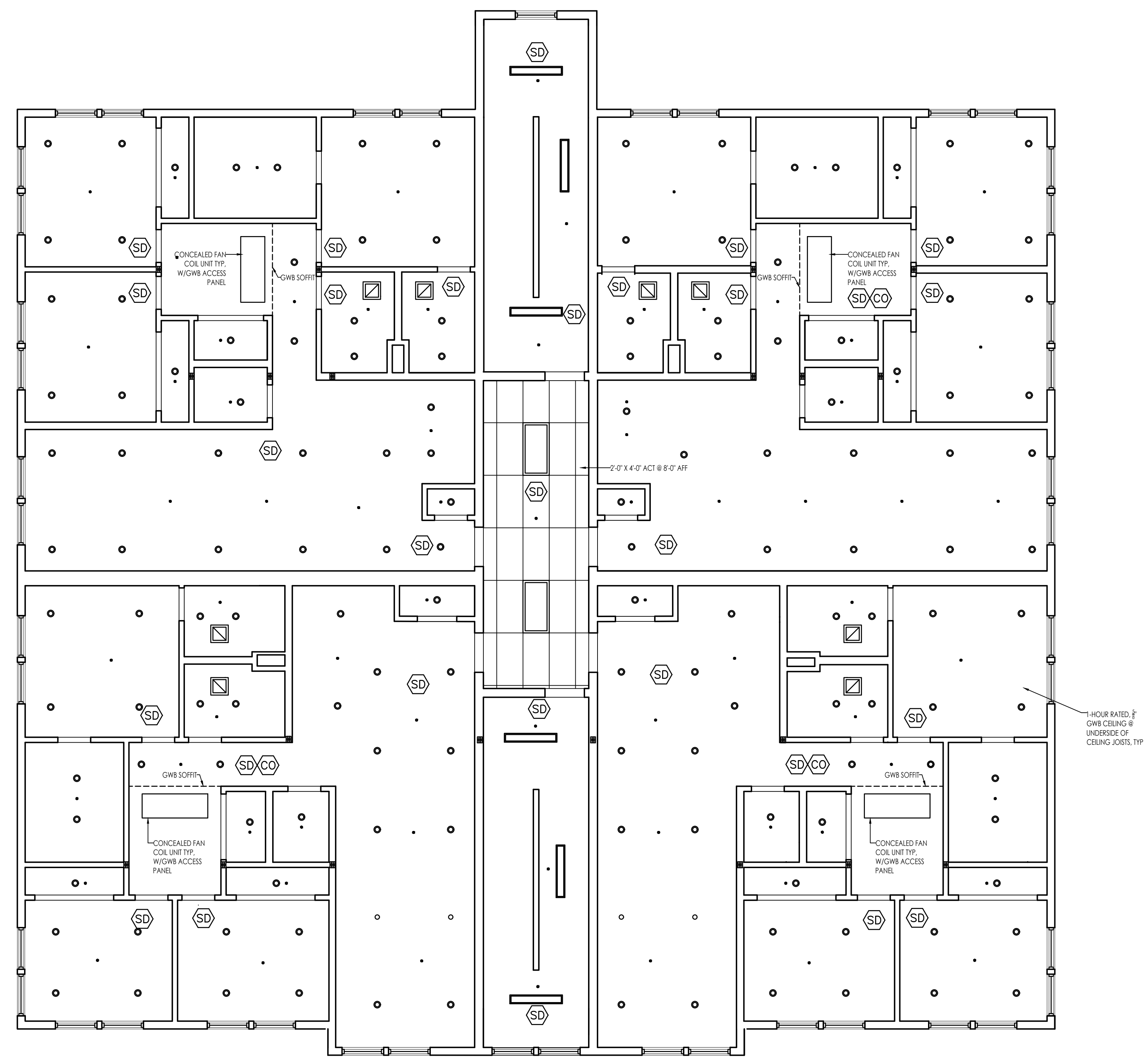
DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 PROPOSED SECOND FLOOR CEILING PLAN

SHEET NUMBER:

A-4.2

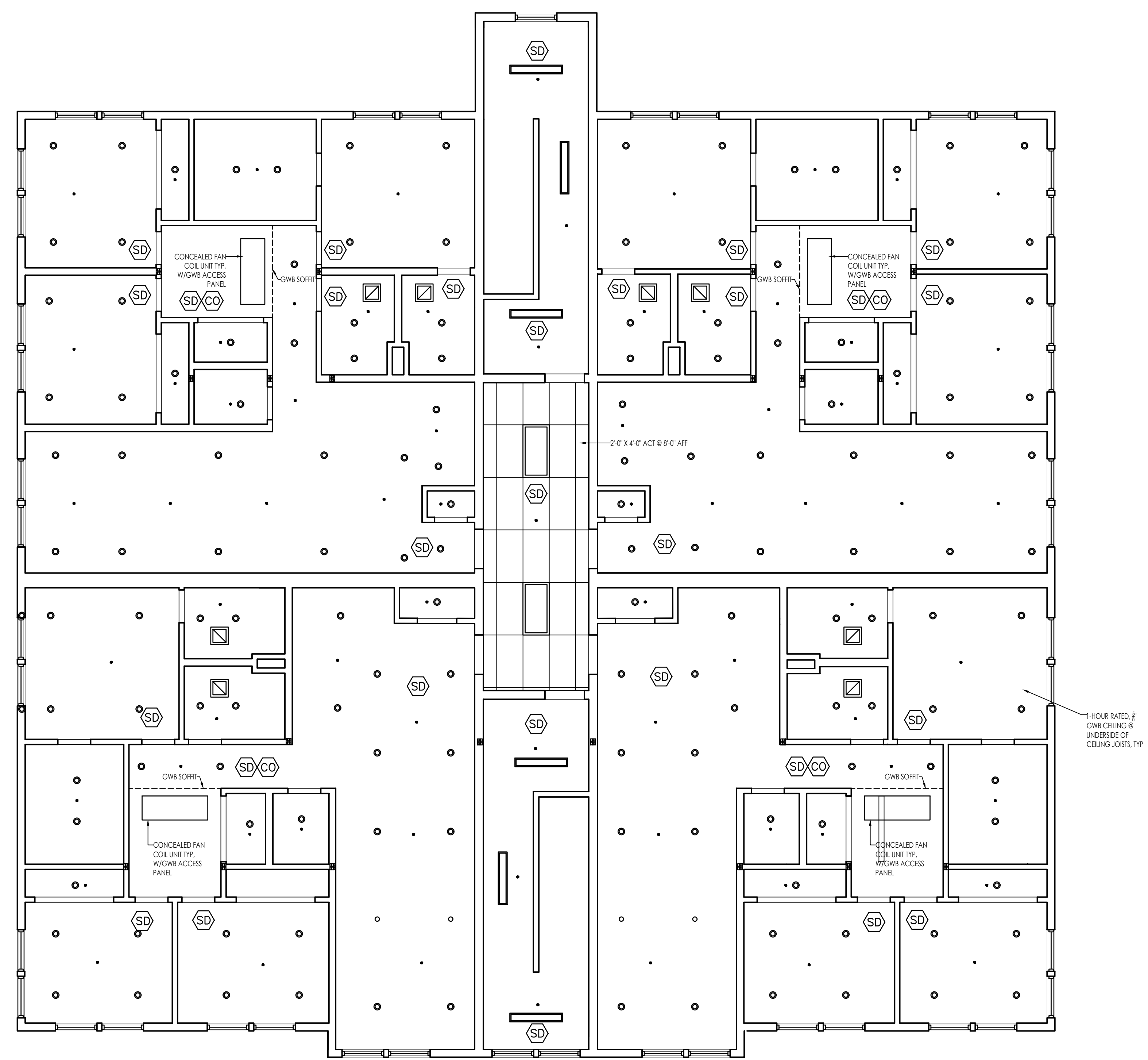


ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:



SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

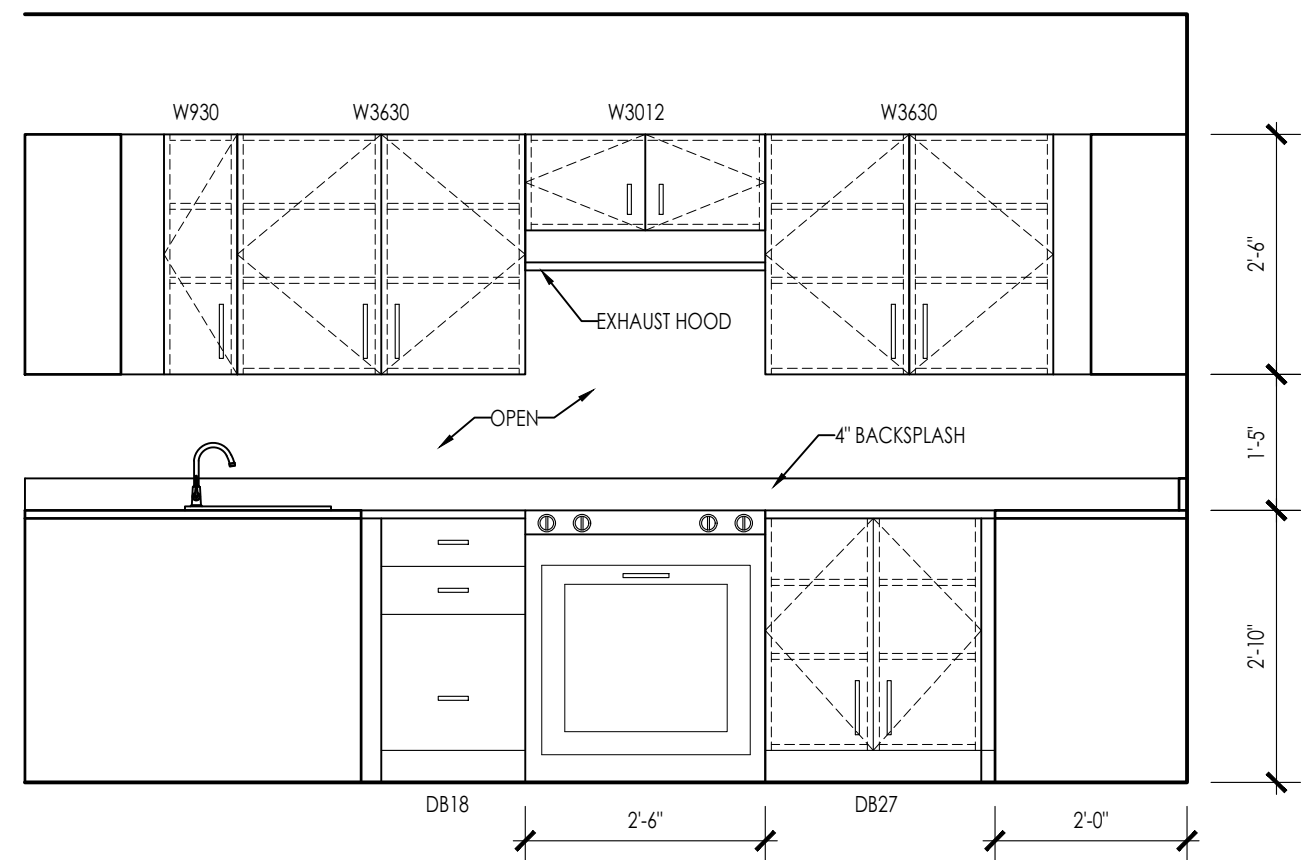
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CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

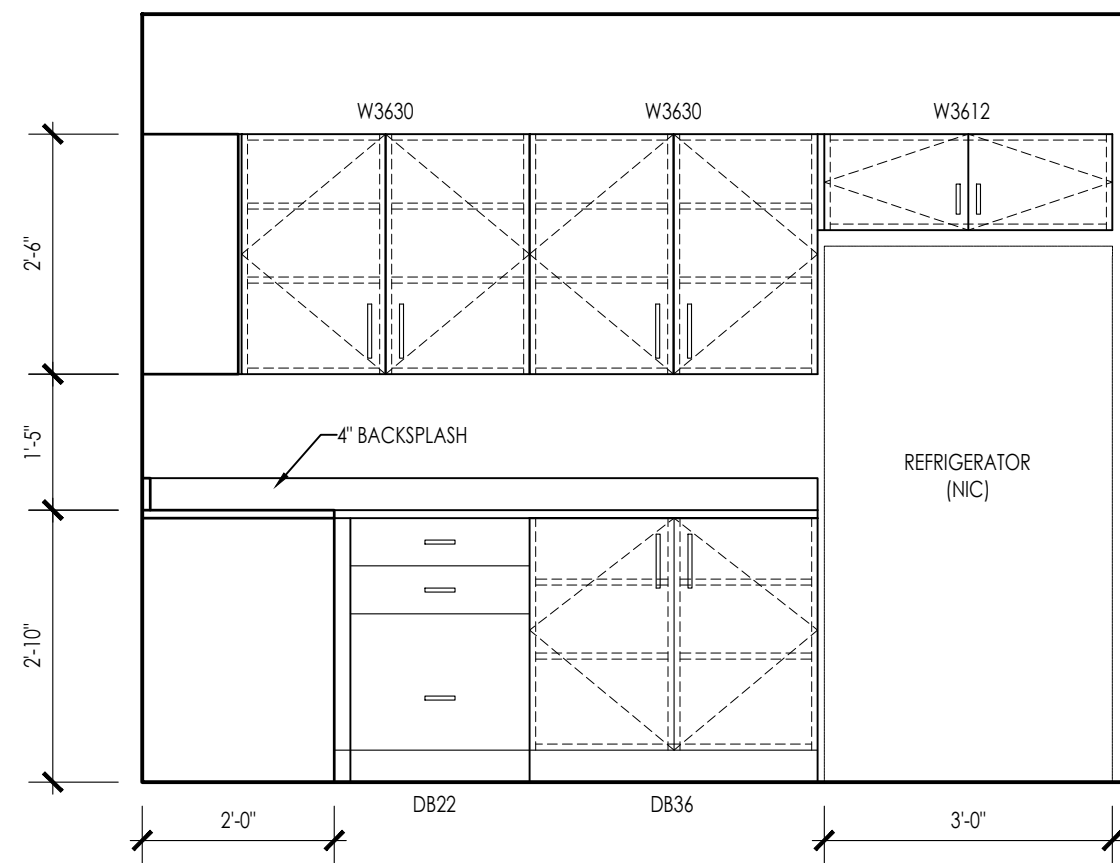
SHEET TITLE:
 PROPOSED THIRD FLOOR CEILING PLAN

SHEET NUMBER:

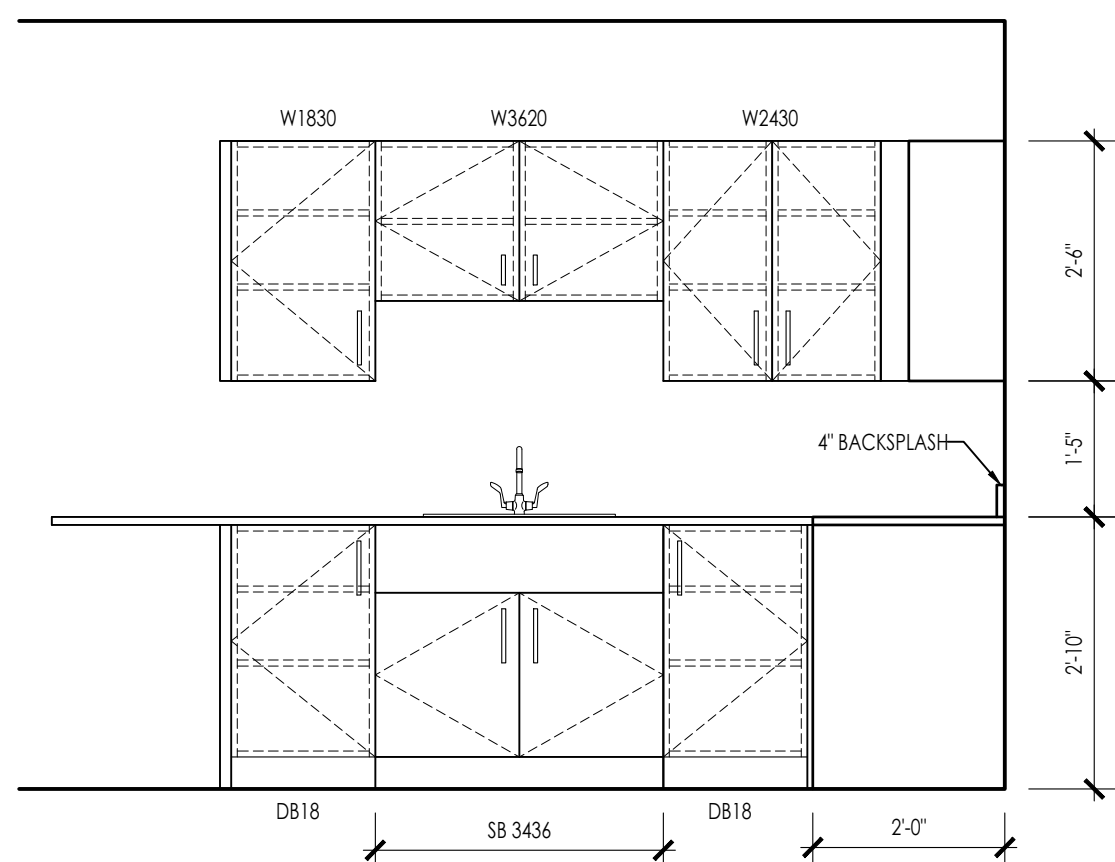
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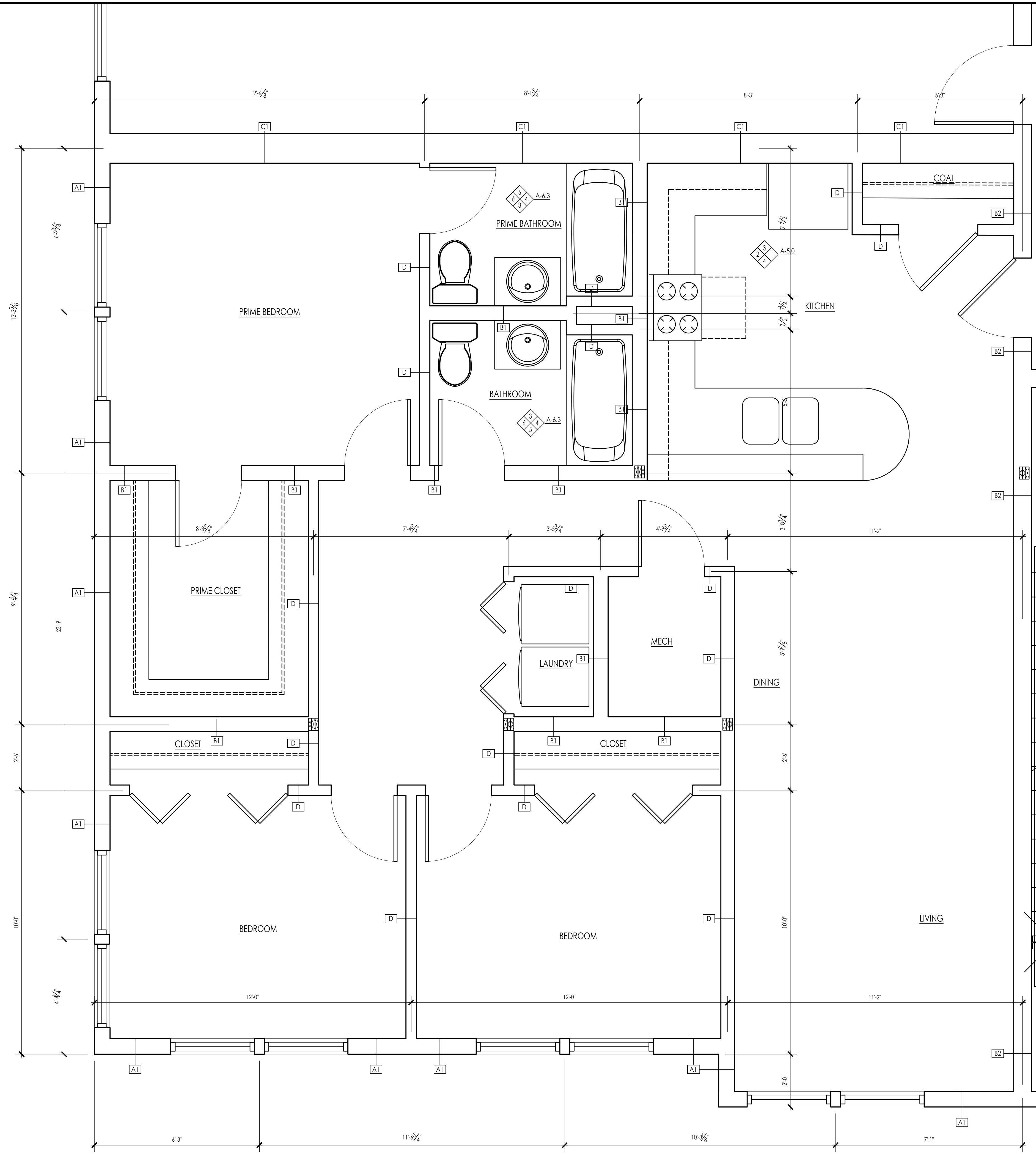
INTERIOR KITCHEN ELEVATION 2
SCALE: 1/2" = 1'-0" A-5.0



INTERIOR KITCHEN ELEVATION 3
SCALE: 1/2" = 1'-0" A-5.0



INTERIOR KITCHEN ELEVATION 4
SCALE: 1/2" = 1'-0" A-5.0



ENLARGED UNIT PLAN - TYPE 1
SCALE: 1/2" = 1'-0" A-5.0



ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

NO.	REVISION DATE
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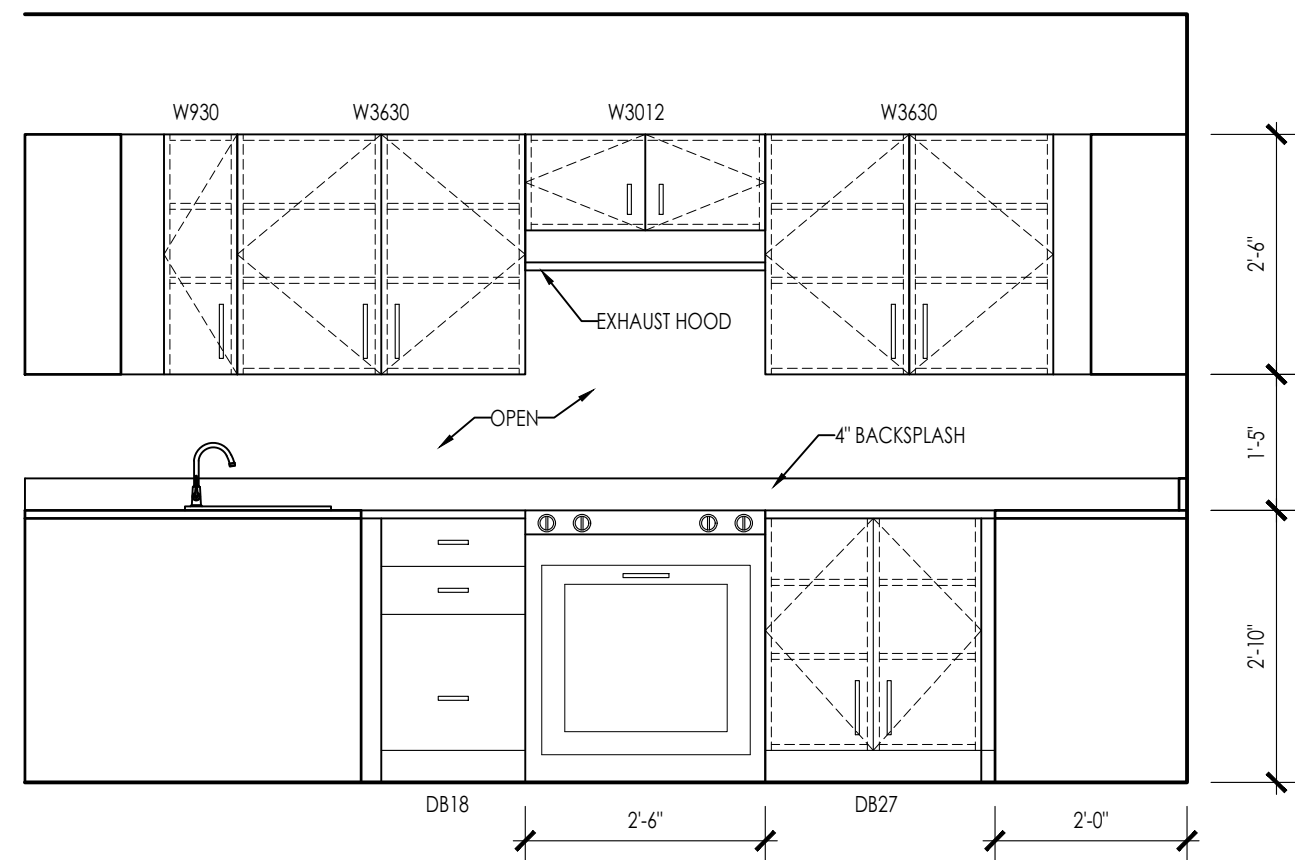
DATE: 09.12.2022
SCALE: AS NOTED
PROJECT: - -
DRAWN: JGH
CHECKED: JGH

PROJECT TITLE:
NEW RESIDENTIAL BUILDING
111 AUSTIN STREET
WORCESTER, MA 01609

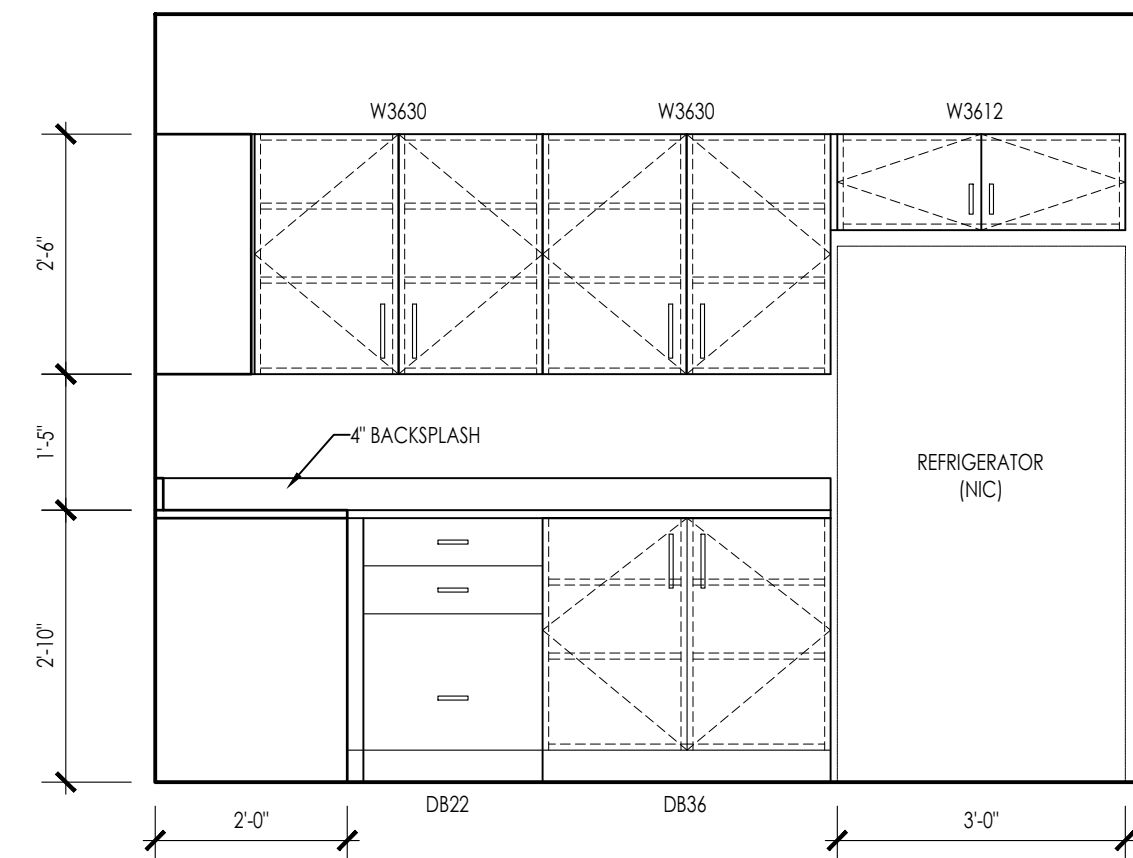
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ENLARGED UNIT PLAN - TYPE 1

SHEET NUMBER:

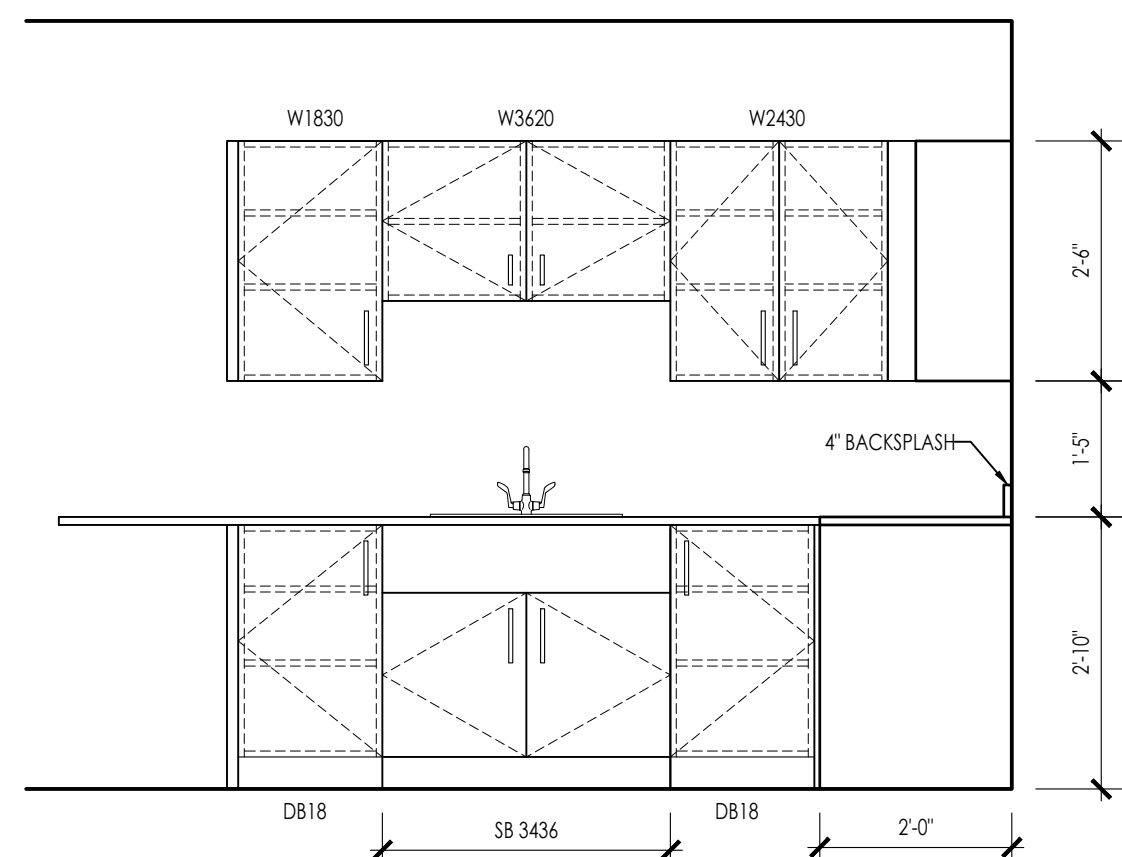
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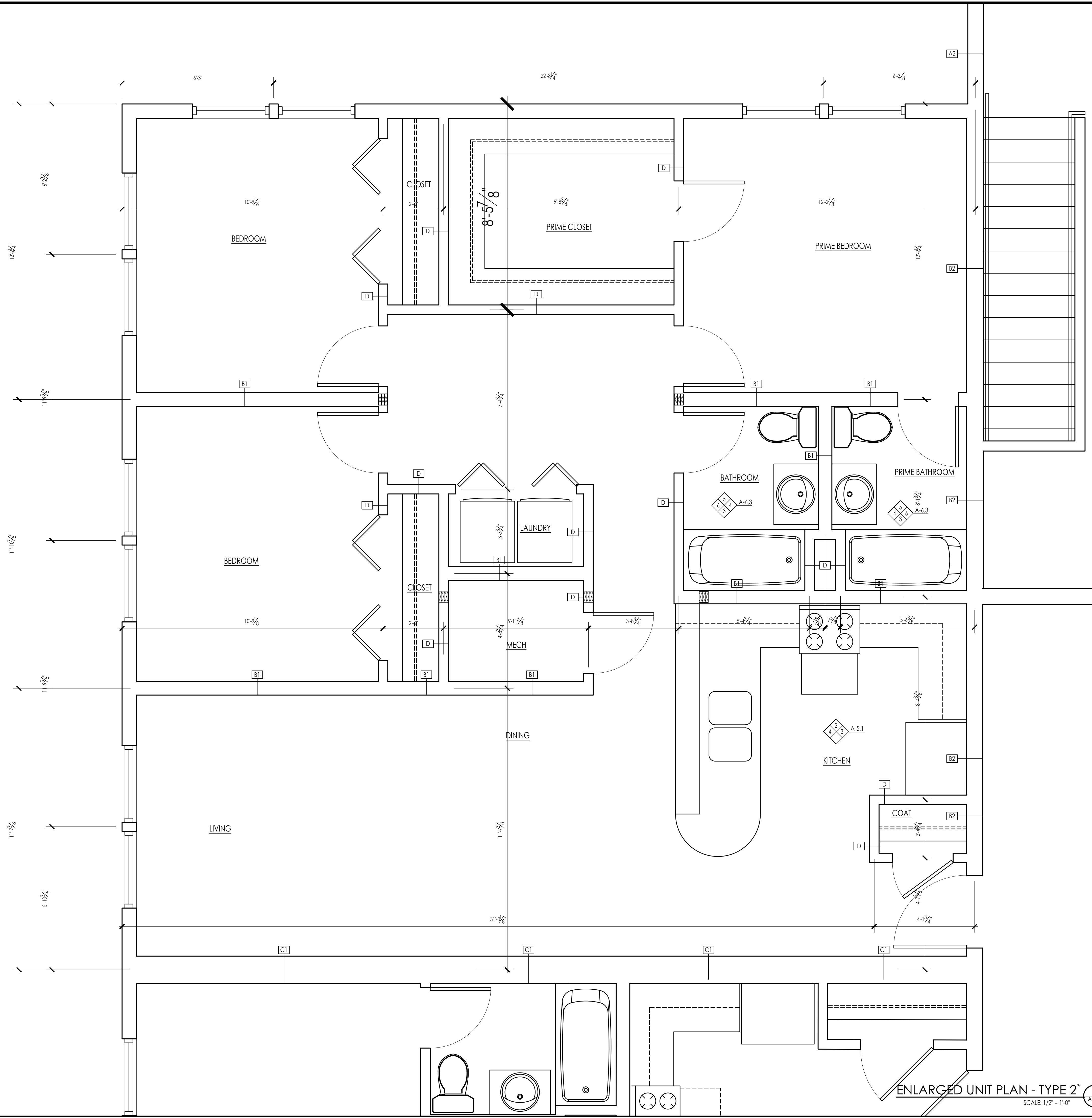
INTERIOR KITCHEN ELEVATION 2
SCALE: 1/2" = 1'-0"



INTERIOR KITCHEN ELEVATION 3
SCALE: 1/2" = 1'-0"



INTERIOR KITCHEN ELEVATION 4
SCALE: 1/2" = 1'-0"



ENLARGED UNIT PLAN - TYPE 2
SCALE: 1/2" = 1'-0"

ARCHITECT:
DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, SUITE 200
 WORCESTER, MA 01609
 (508) 755-0333 (F) 508-772-5368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

NO.	REVISION DATE
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DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: -
 DRAWN: JGH
 CHECKED: JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 ENLARGED UNIT PLAN - TYPE 2

SHEET NUMBER:

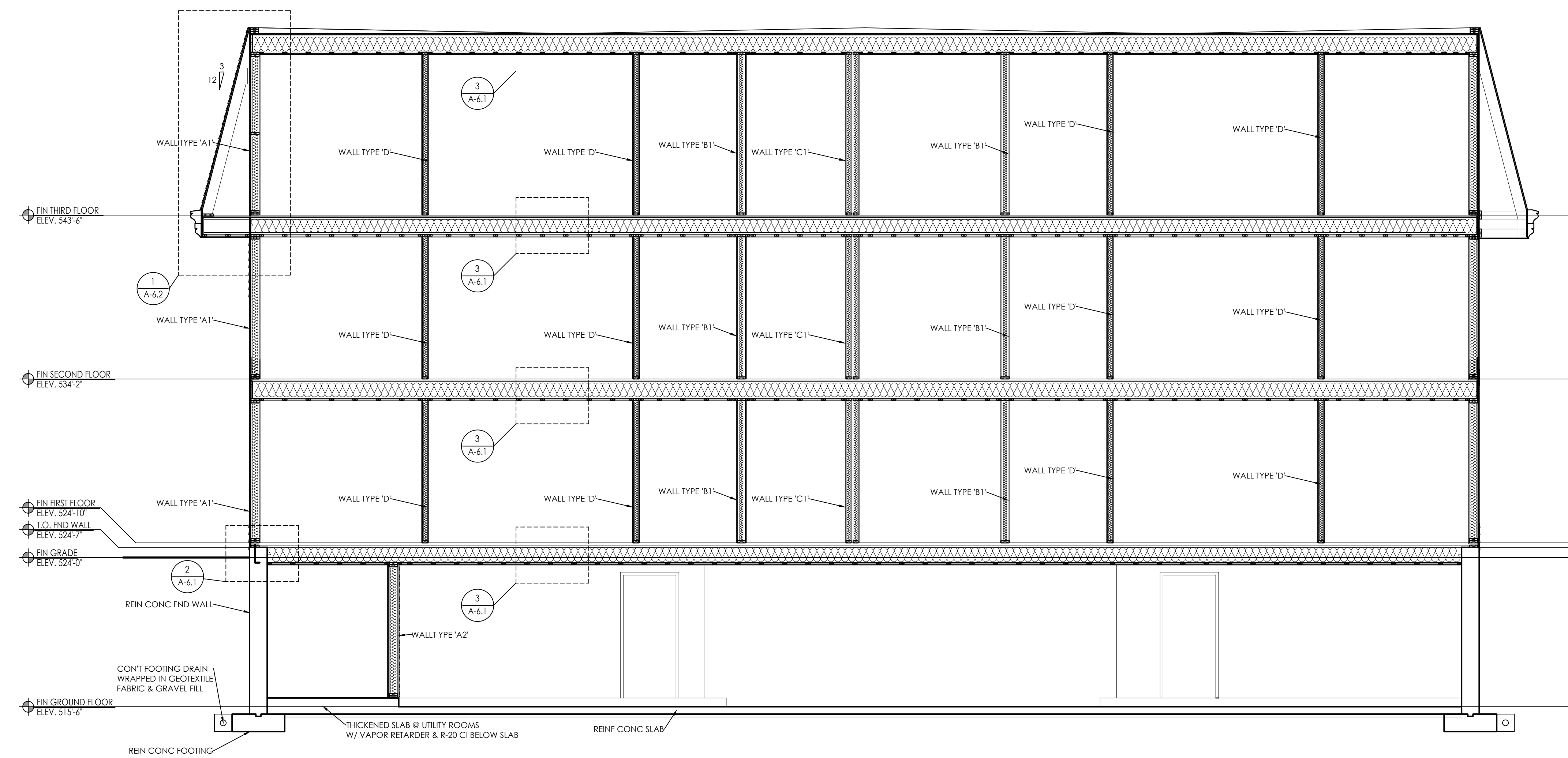
A-5.1

ARCHITECTS STAMP:

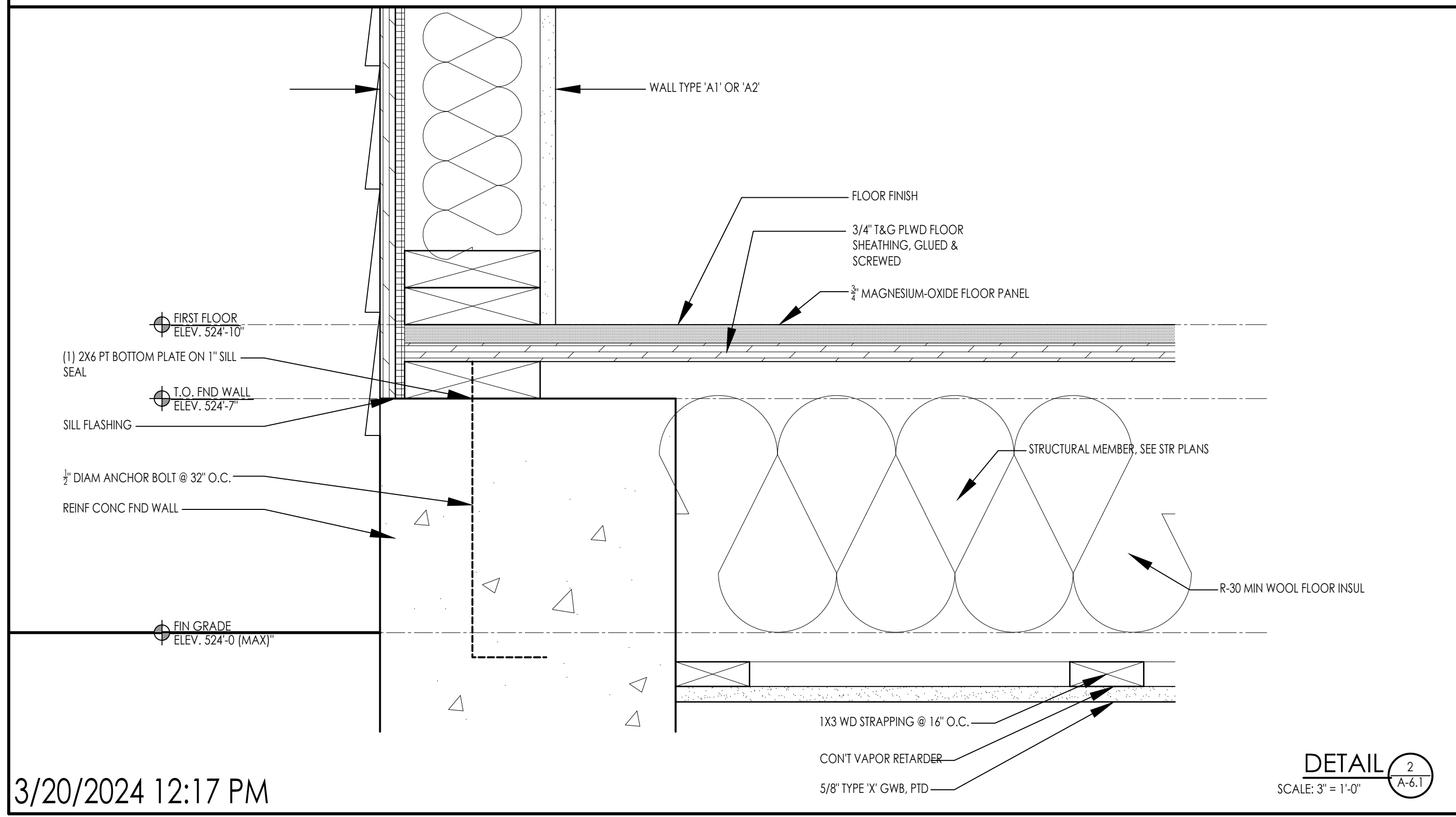
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ENGINEER'S STAMP:

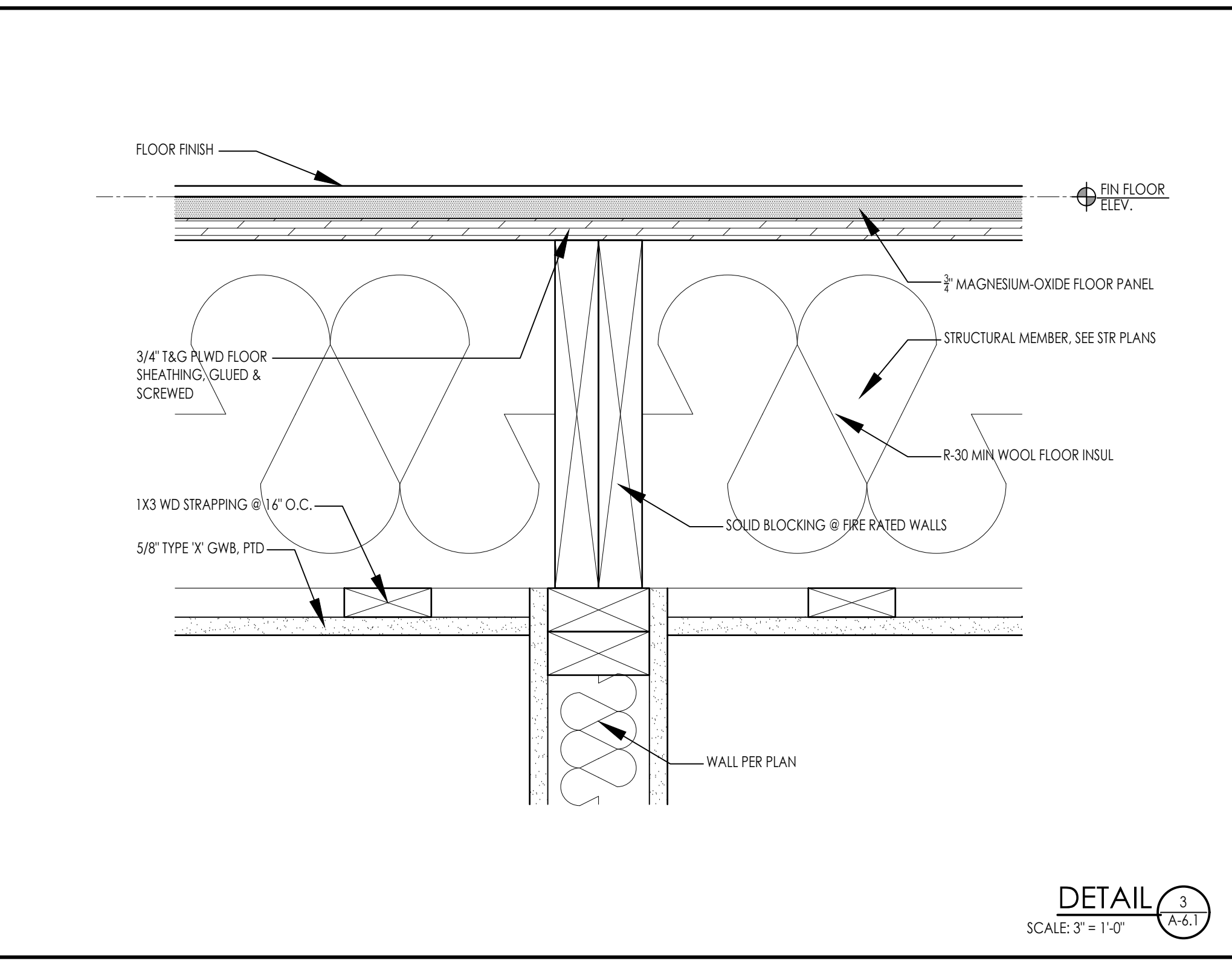
GENERAL INFORMATION:



BUILDING SECTION 1
 SCALE: 1/2" = 1'-0" A-6.1



DETAIL 2
 SCALE: 3" = 1'-0" A-6.1



DETAIL 3
 SCALE: 3" = 1'-0" A-6.1

3/20/2024 12:17 PM

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

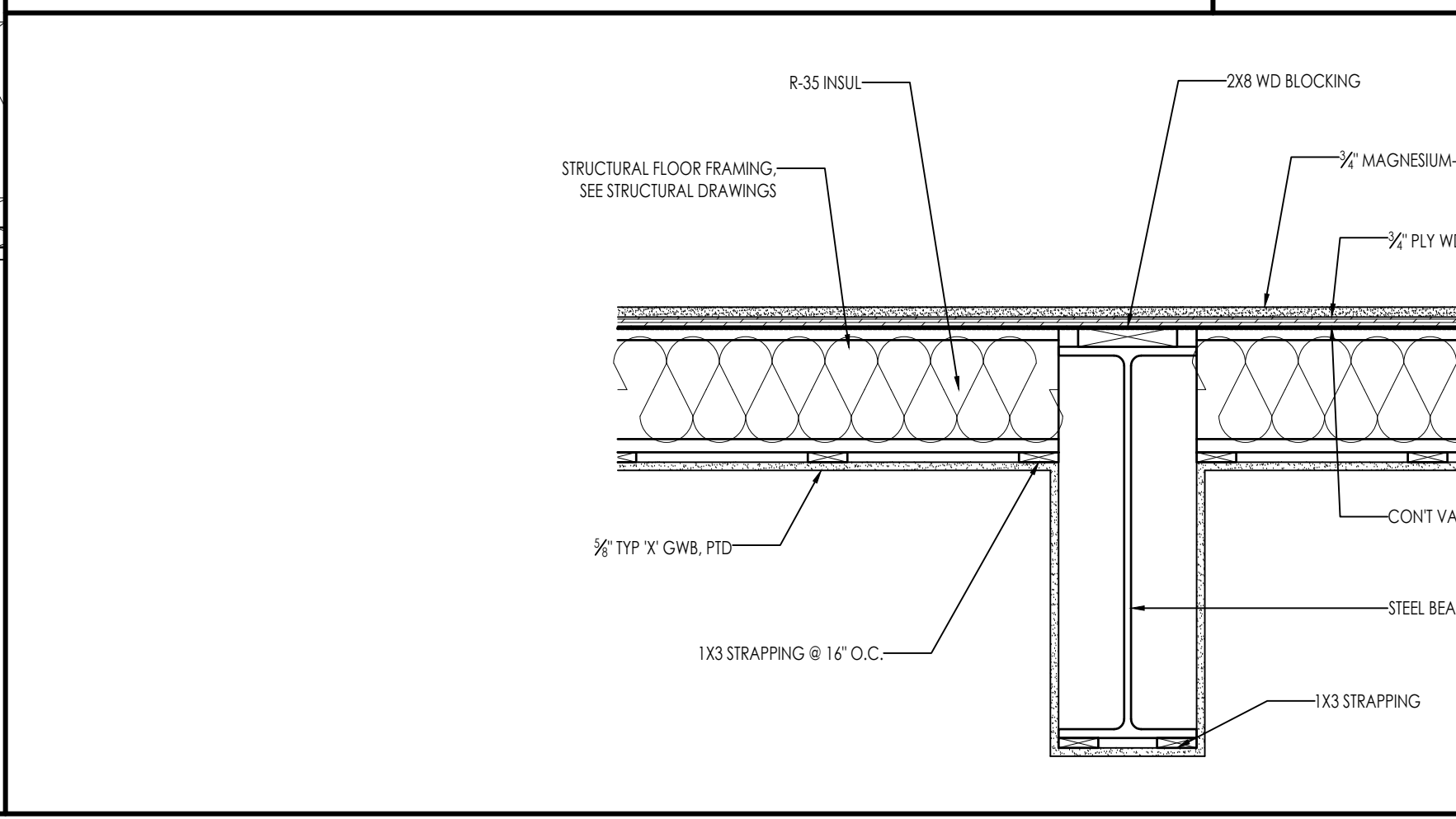
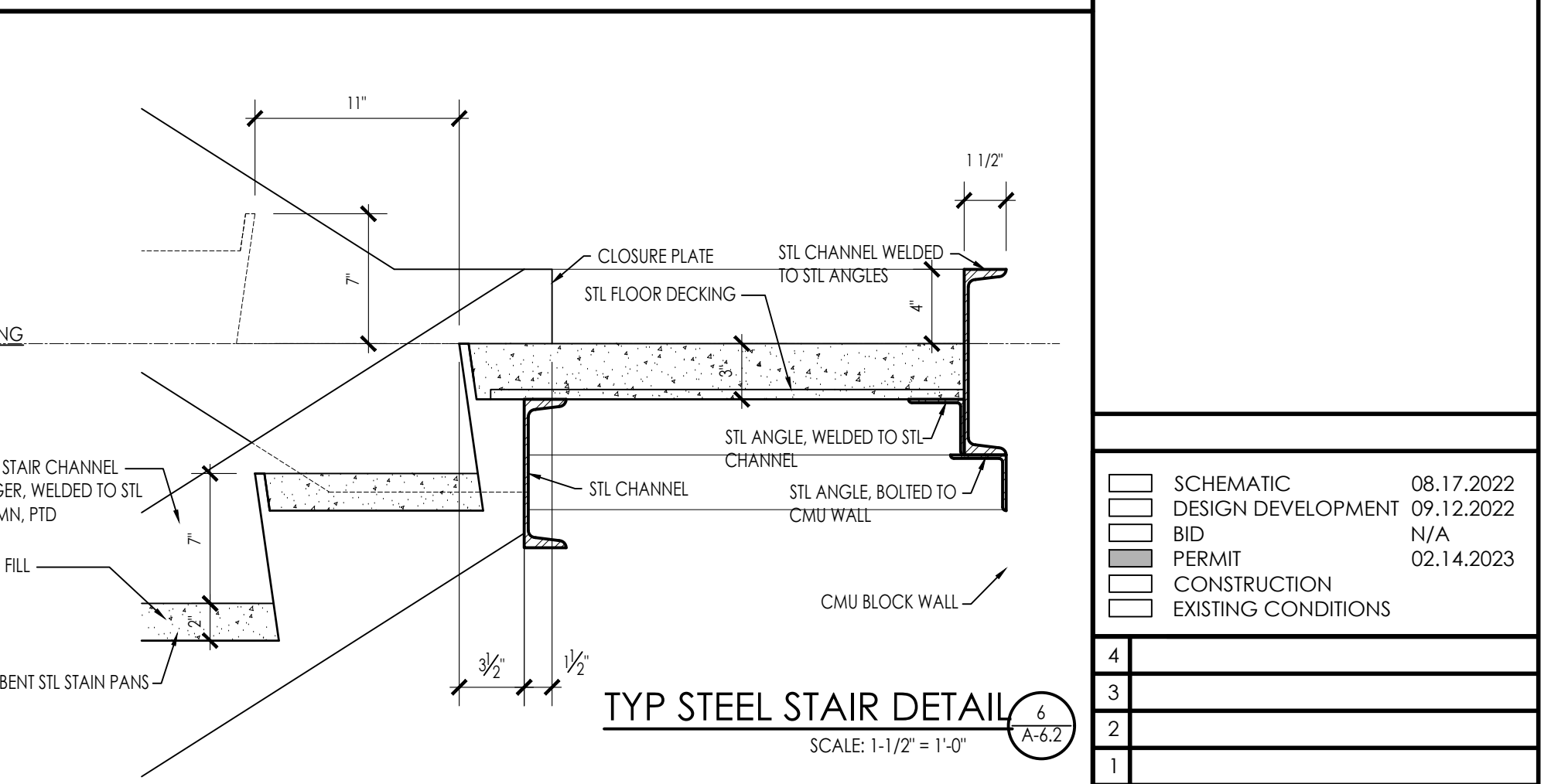
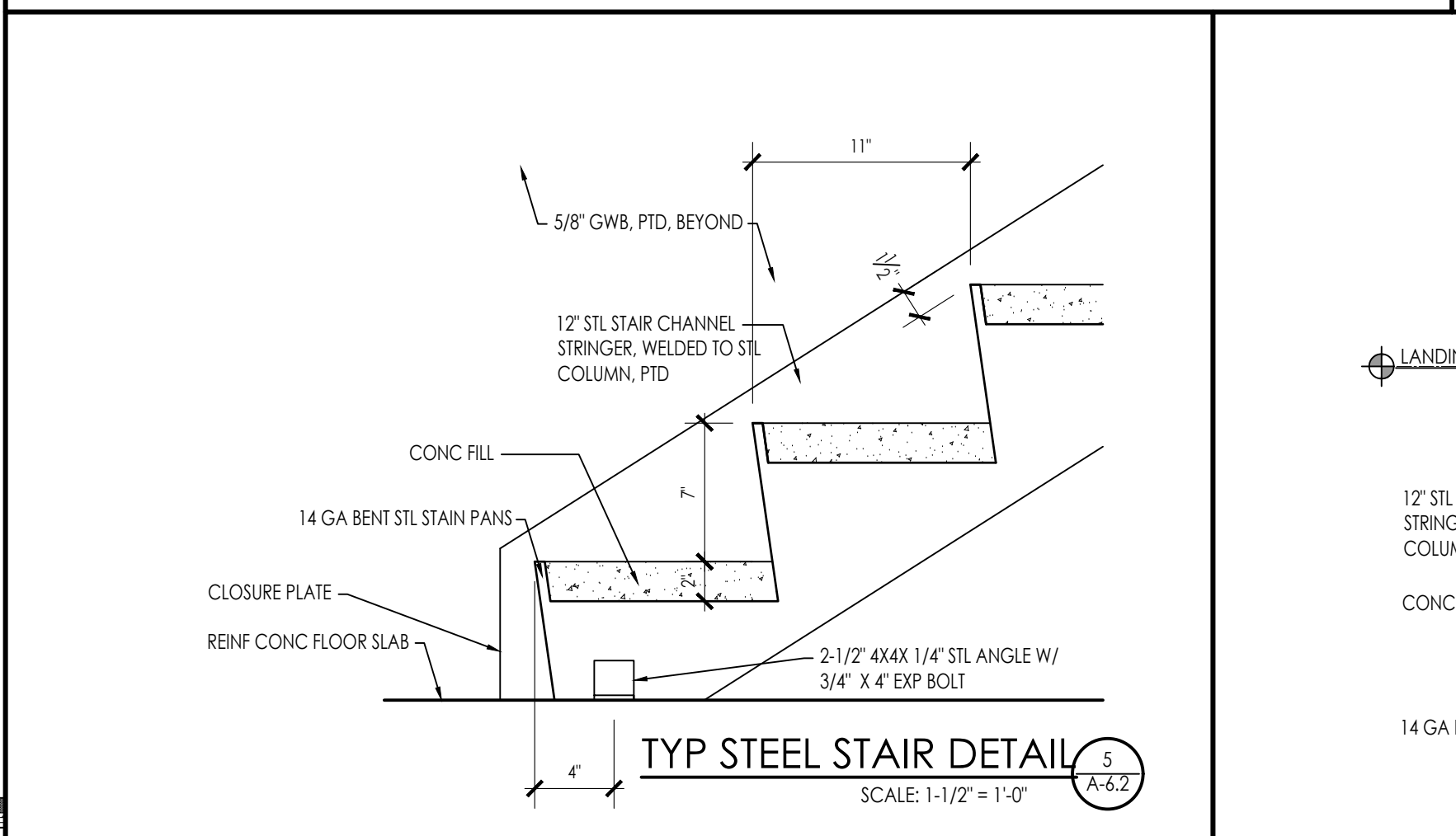
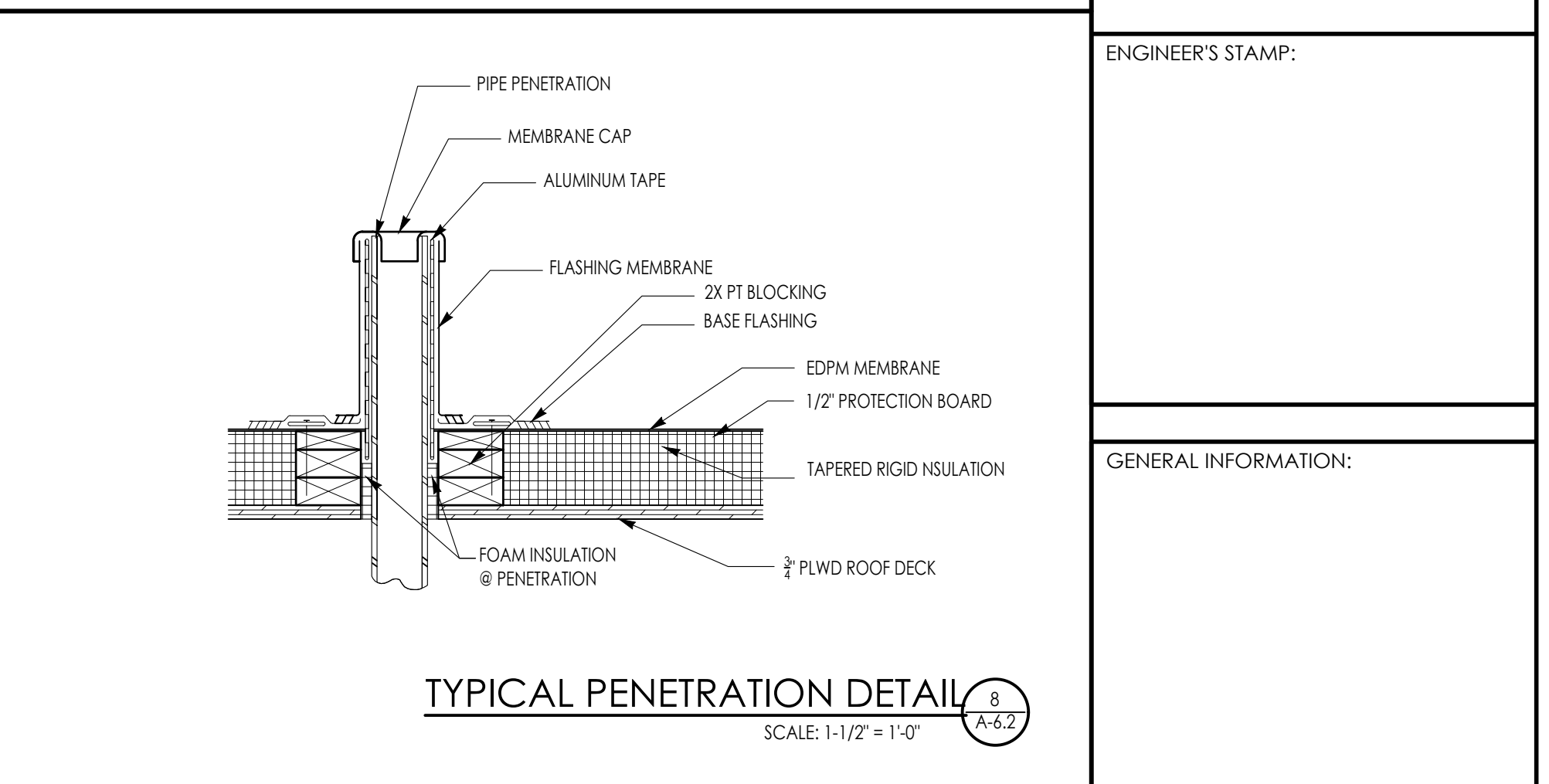
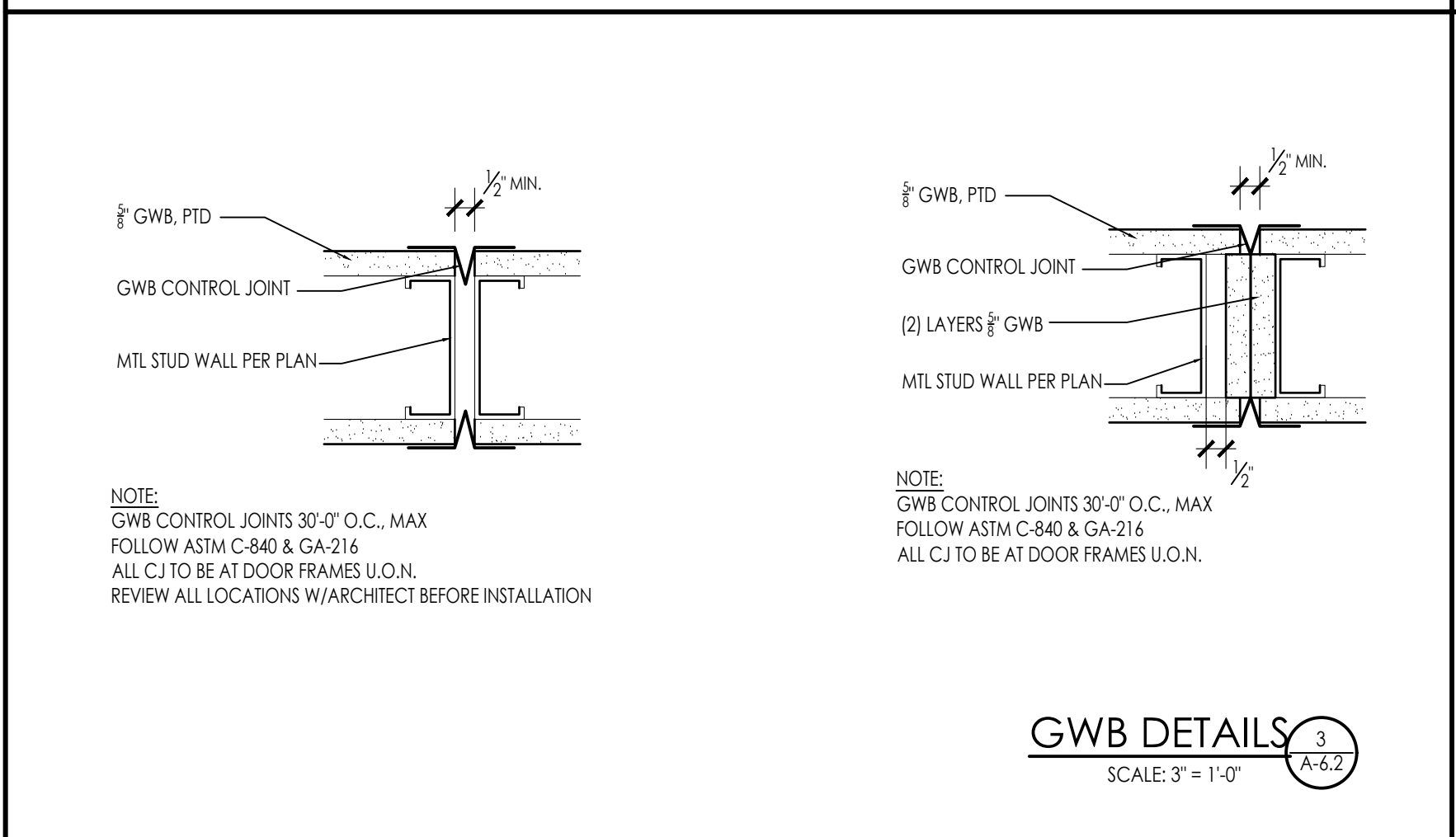
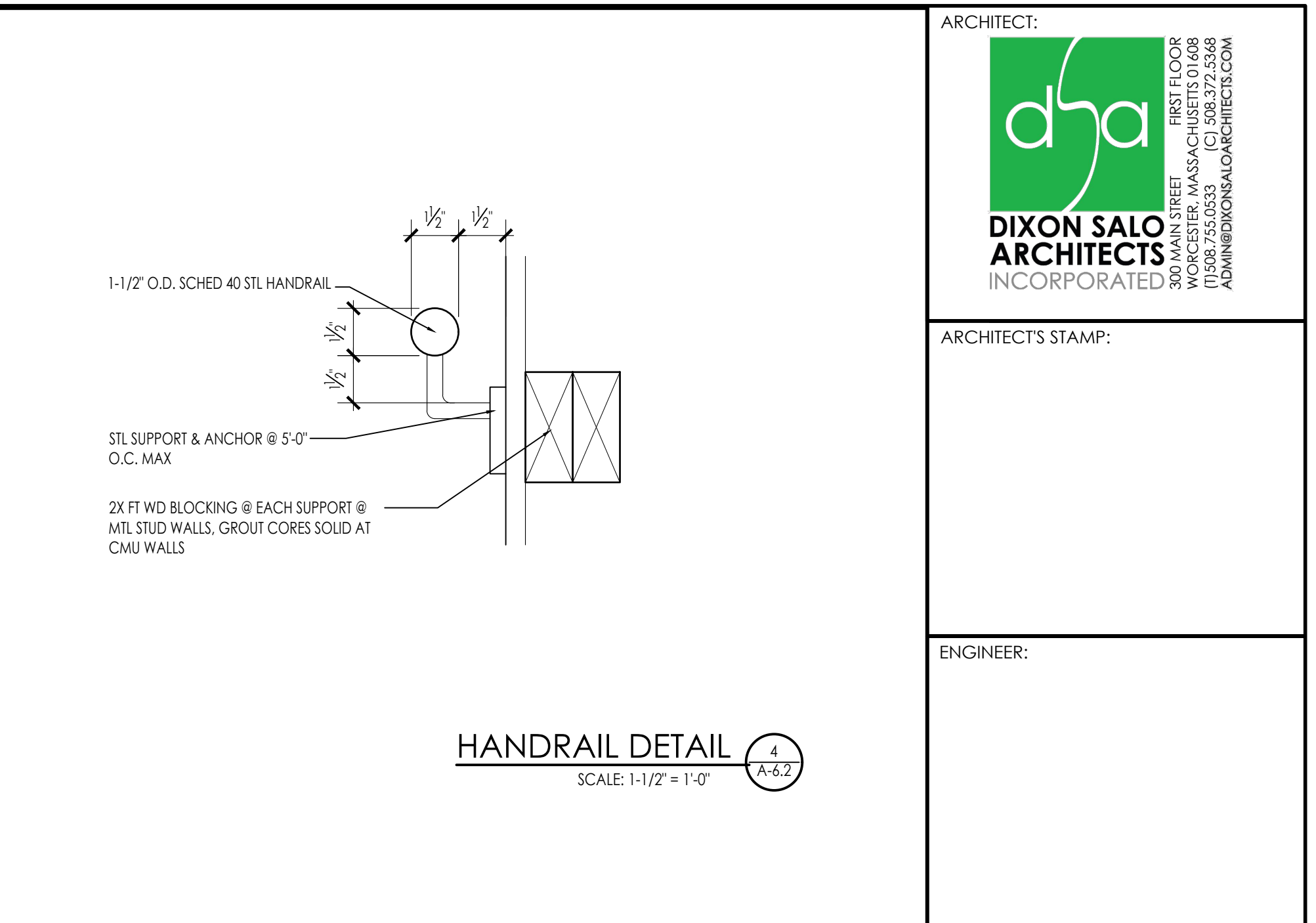
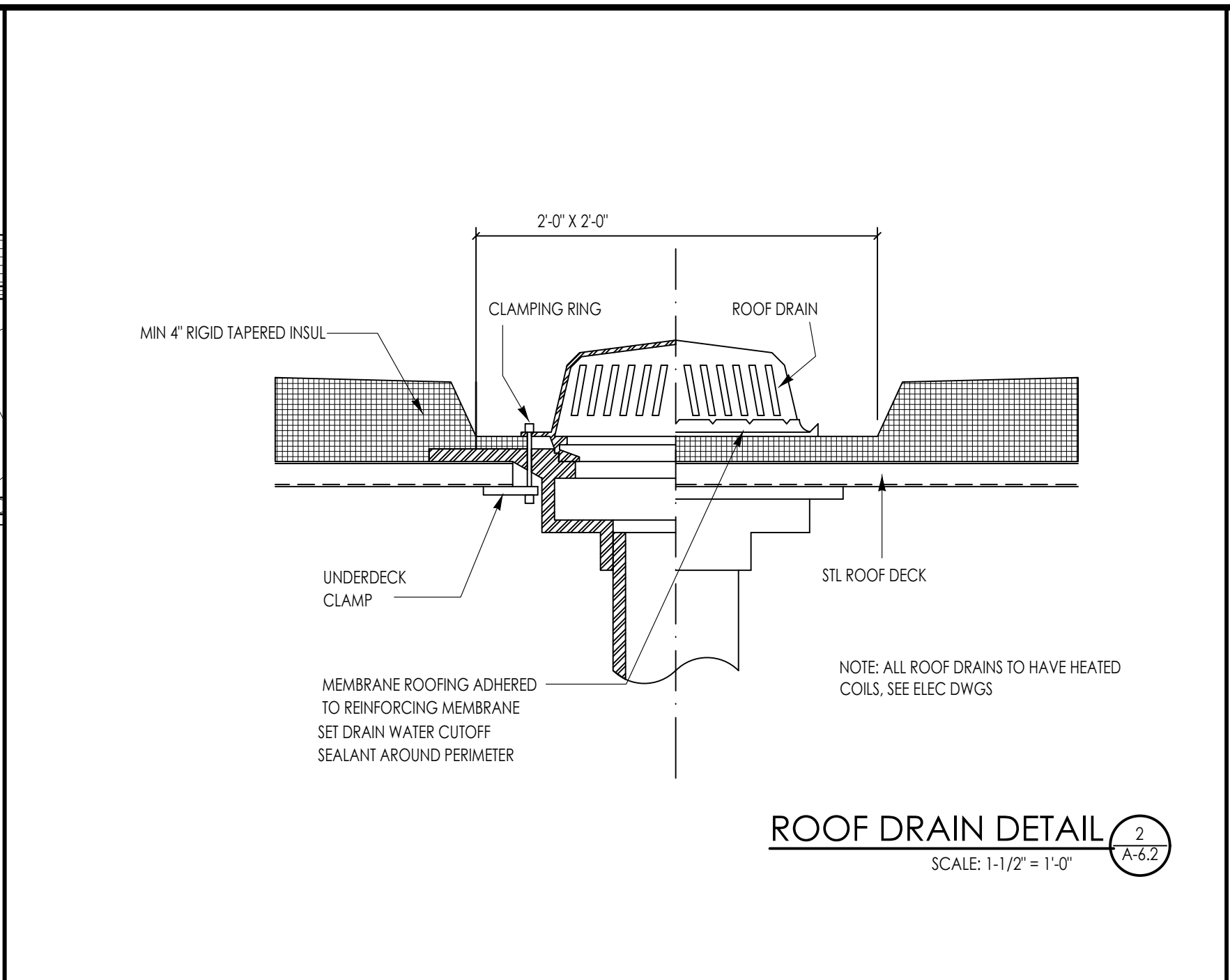
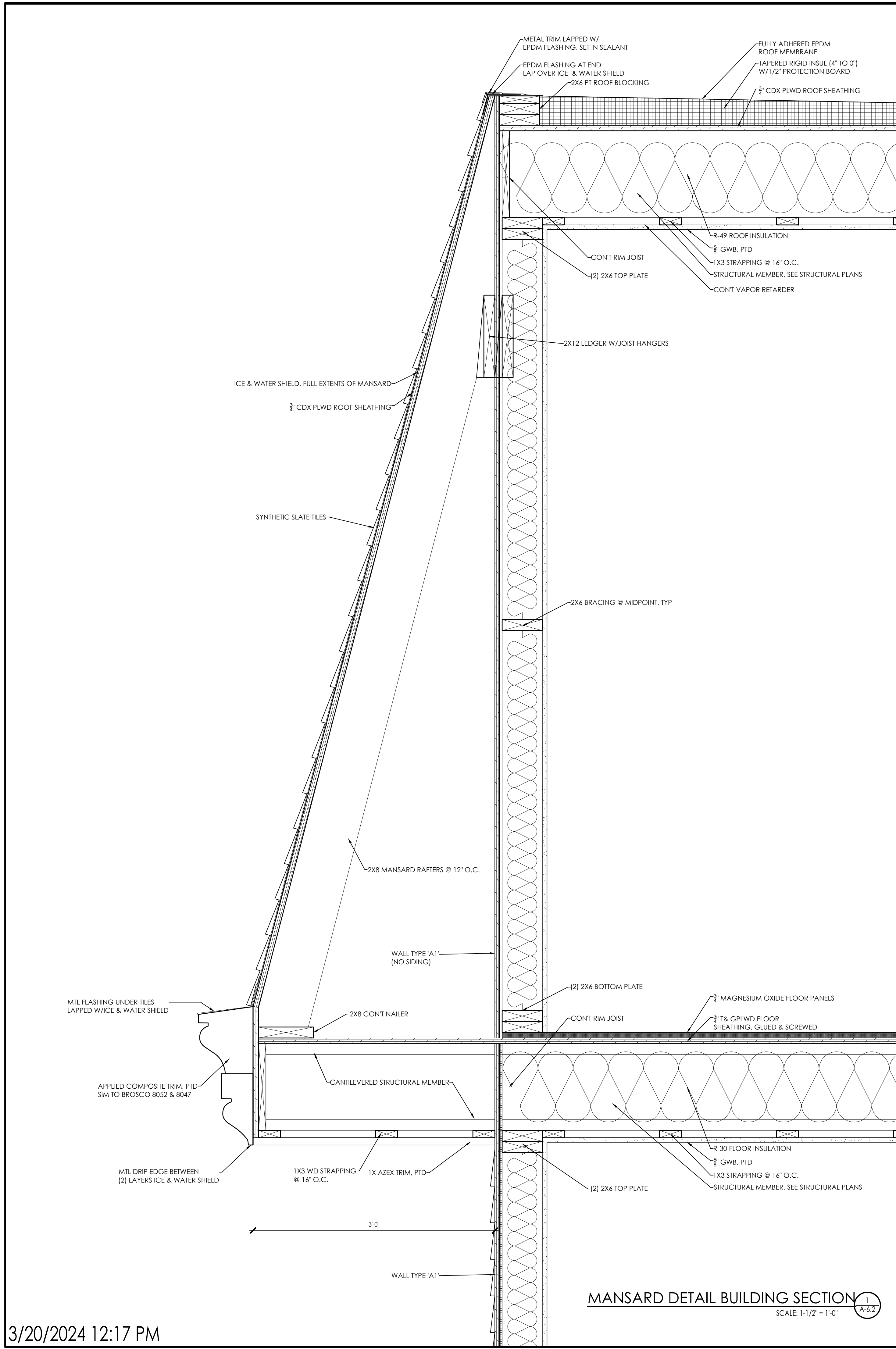
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REVISION DATE	

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 BUILDING SECTION

SHEET NUMBER:
A-6.1



4	REVISION DATE
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2	
1	
DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH
PROJECT TITLE:	NEW RESIDENTIAL BUILDING 111 AUSTIN STREET WORCESTER, MA 01609
SHEET TITLE:	TYPICAL DETAILS
SHEET NUMBER:	A-6.2

ARCHITECT:
dha
DIXON SALO ARCHITECTS INCORPORATED
FIRST FLOOR
300 MAIN STREET
WORCESTER, MASSACHUSETTS
(508) 755-0333 (F) 508-755-0333
ADMIN@DIXONSALOARCHITECTS.COM

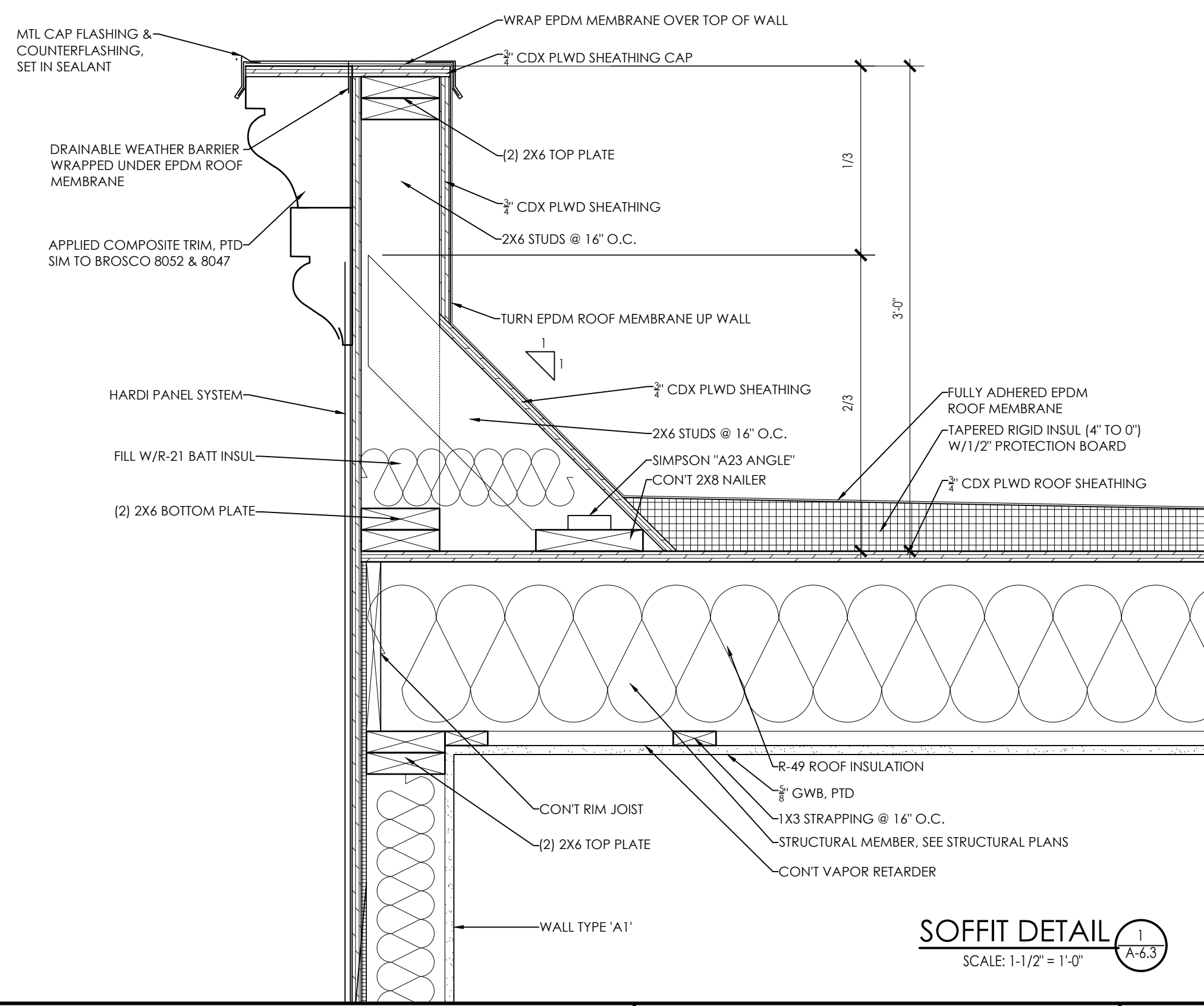
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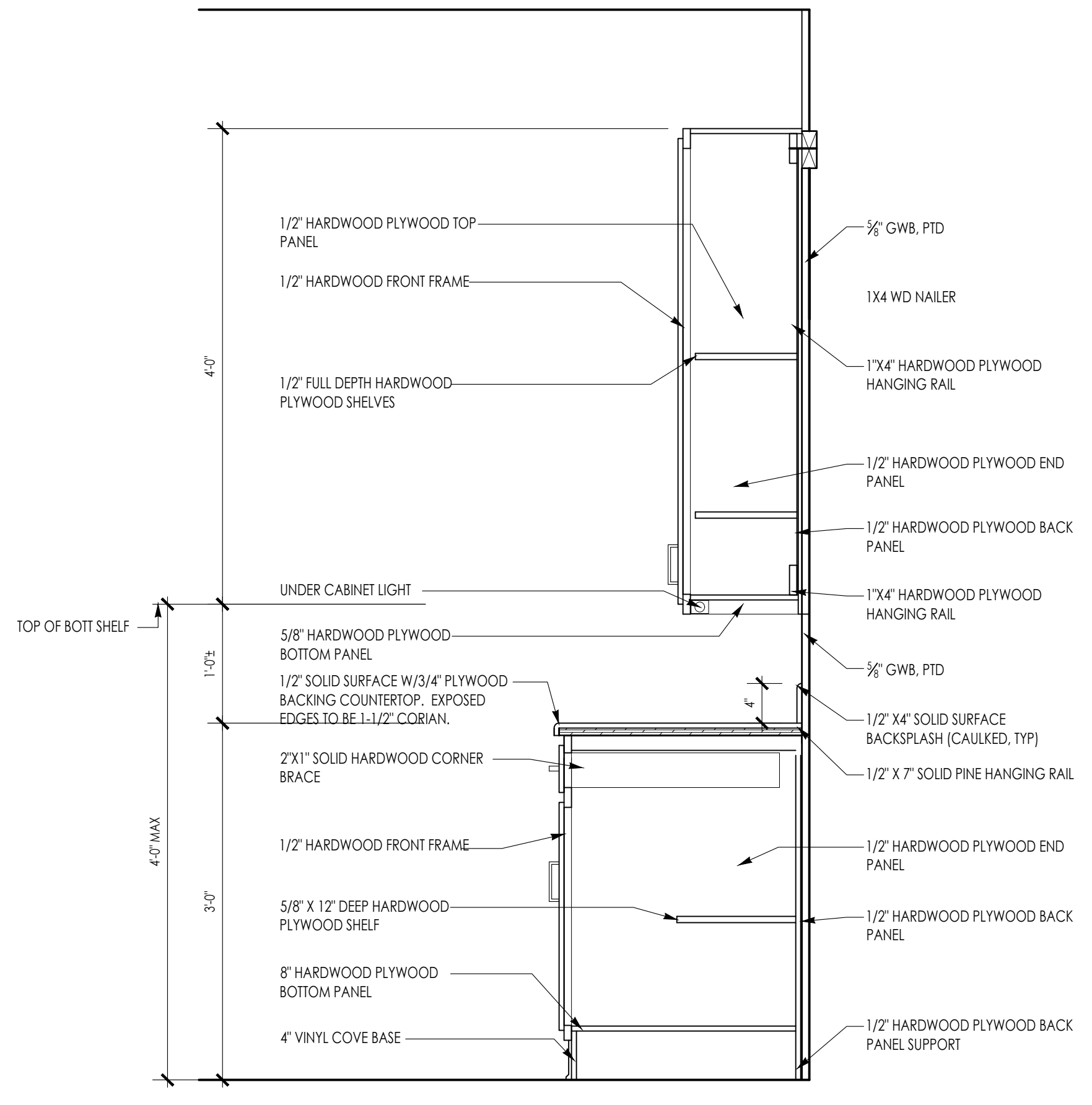
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GENERAL INFORMATION:

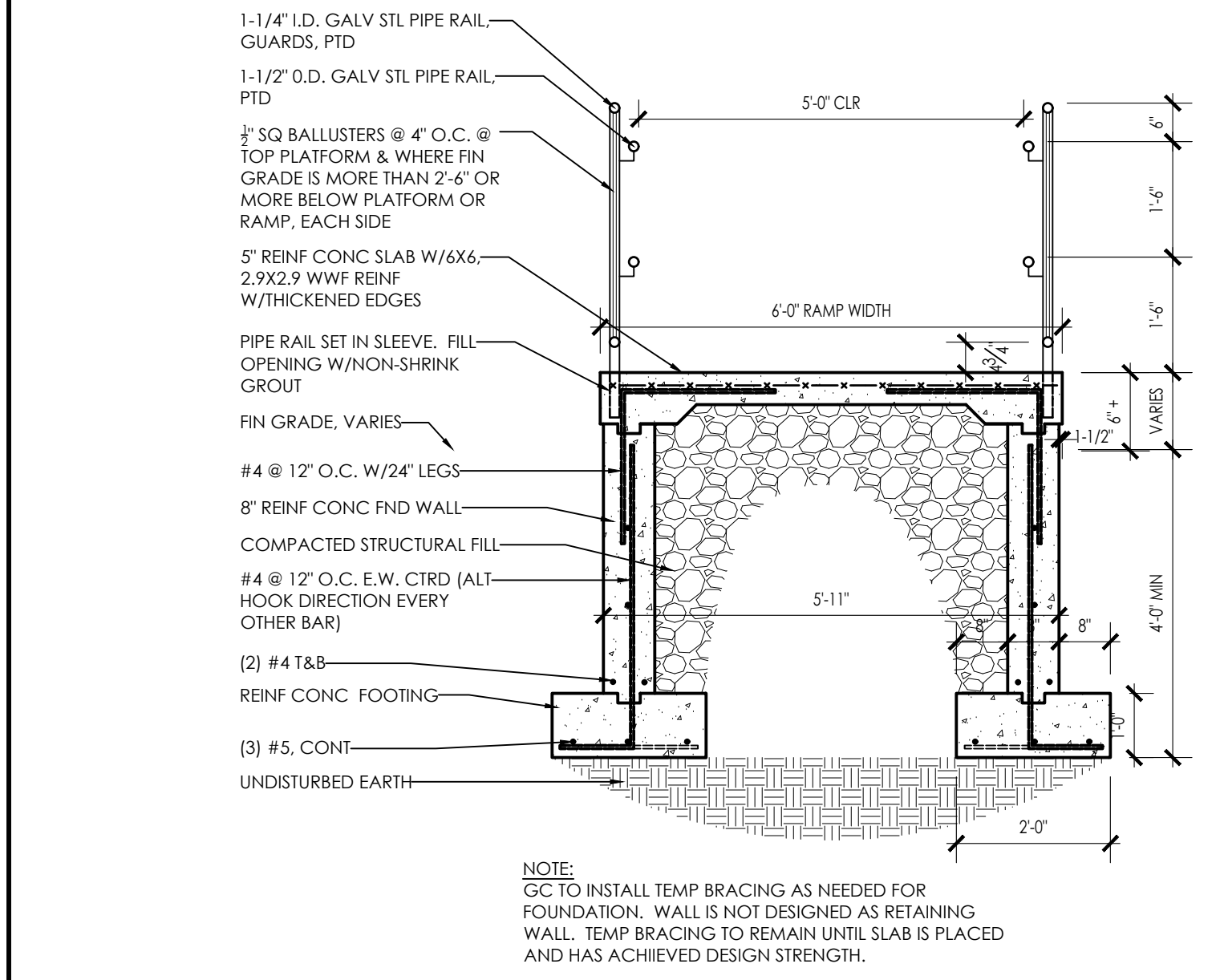
SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	



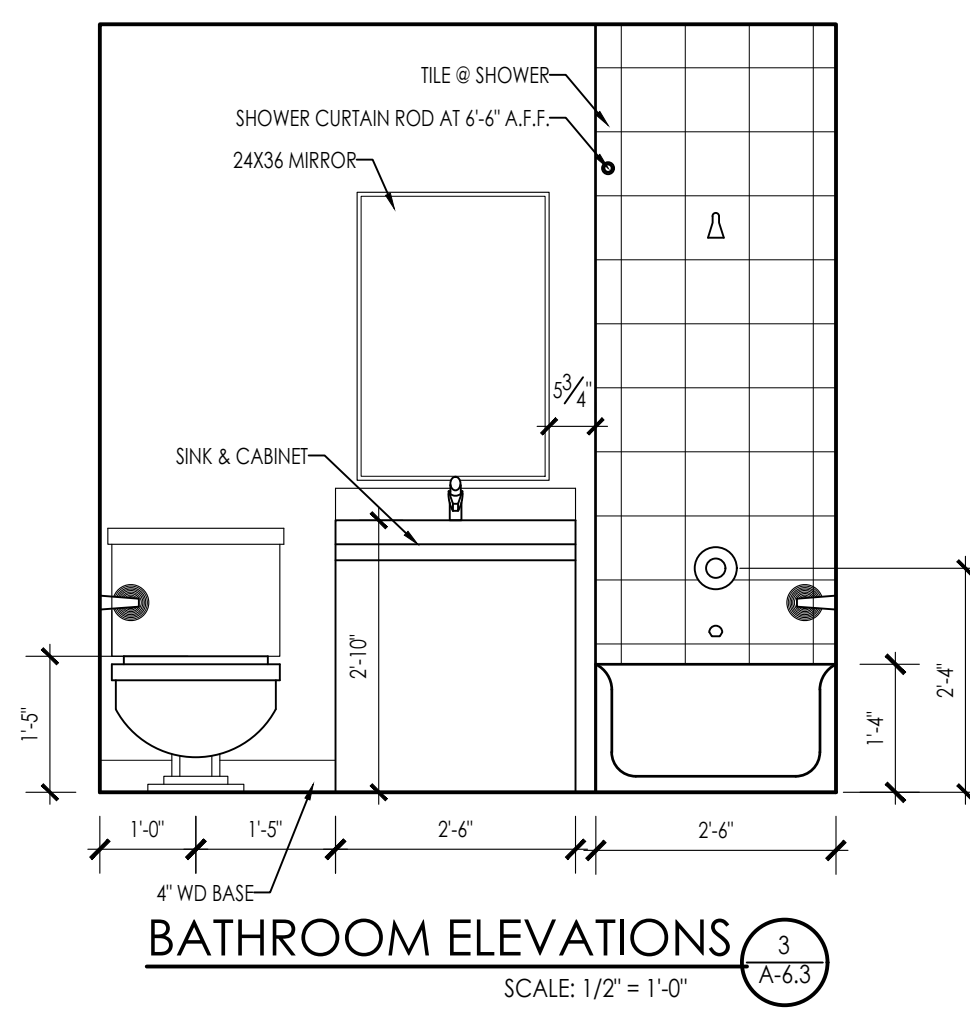
SOFFIT DETAIL 1
SCALE: 1-1/2" = 1'-0"
A-6.3



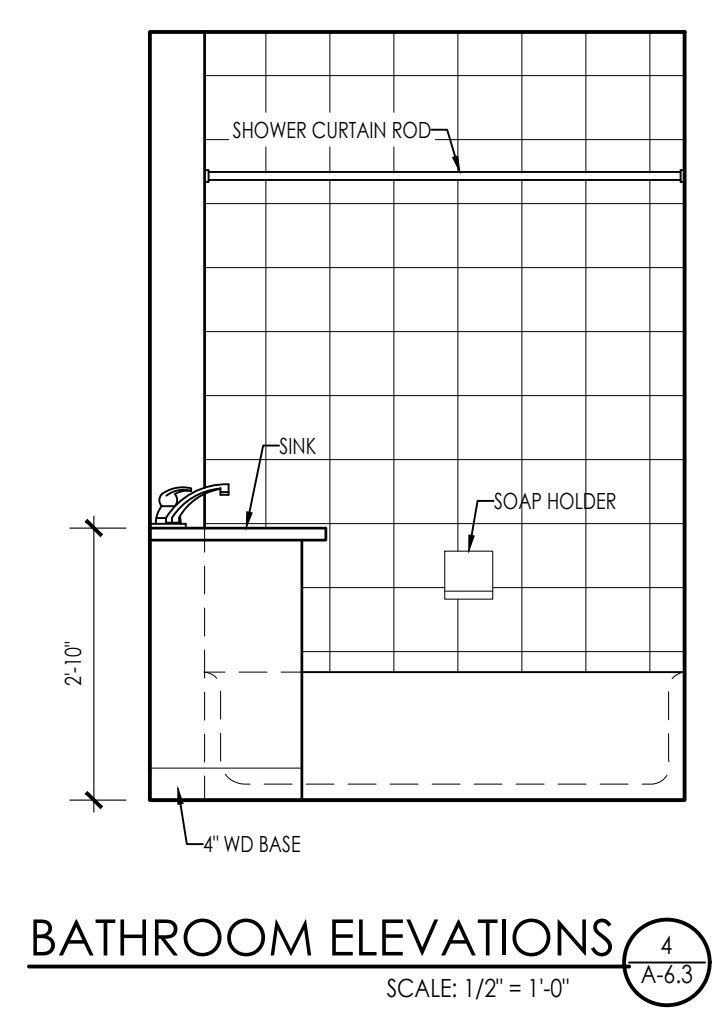
CABINET DETAIL 2
SCALE: 1" = 1'-0"
A-6.3



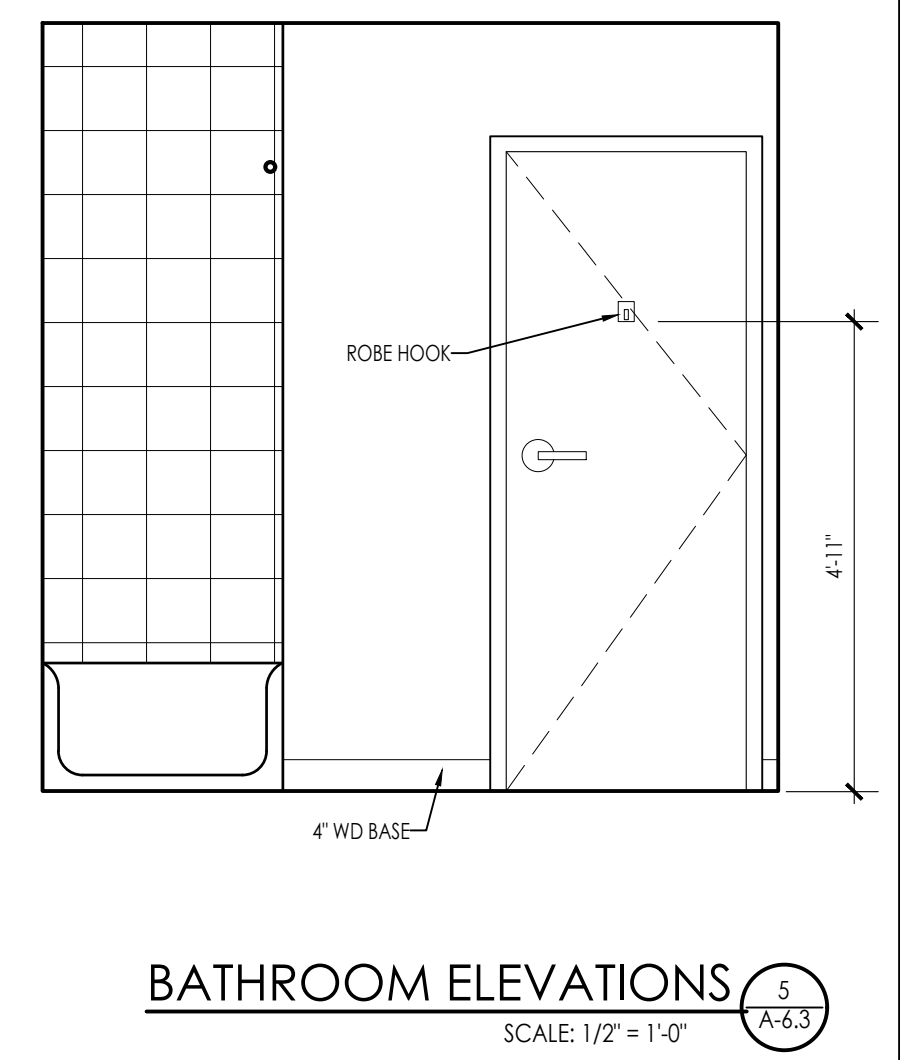
TYPICAL RAMP SECTION 7
SCALE: 1/2" = 1'-0"
A-6.3



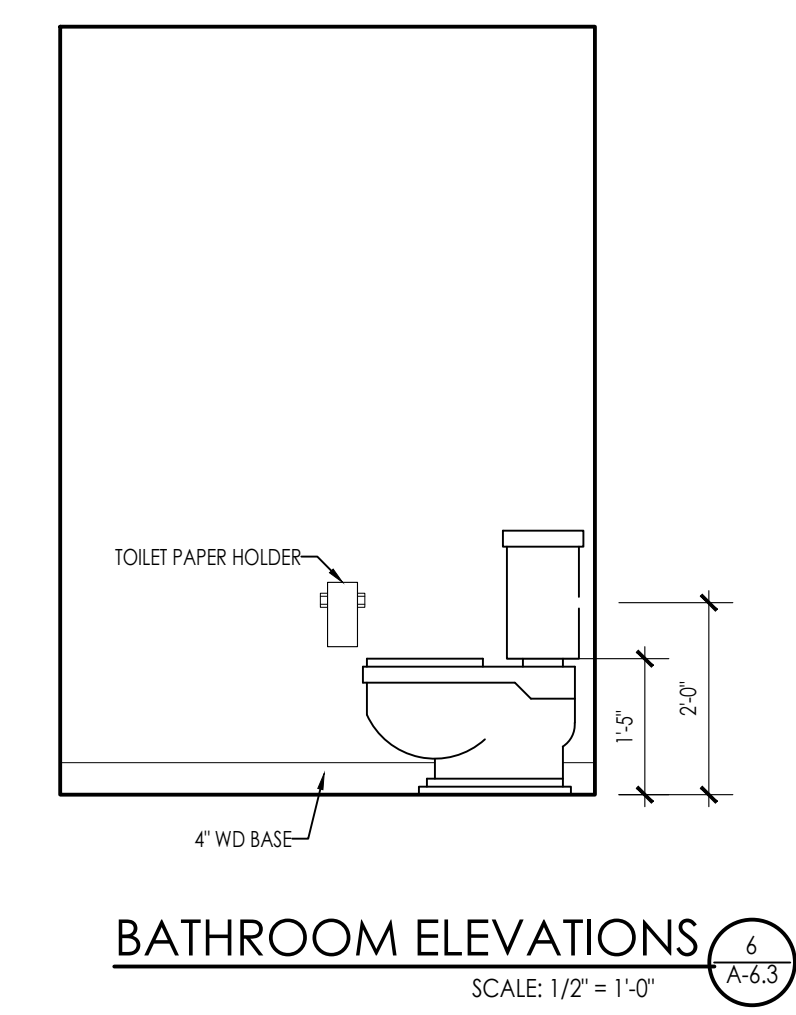
BATHROOM ELEVATIONS 3
SCALE: 1/2" = 1'-0"
A-6.3



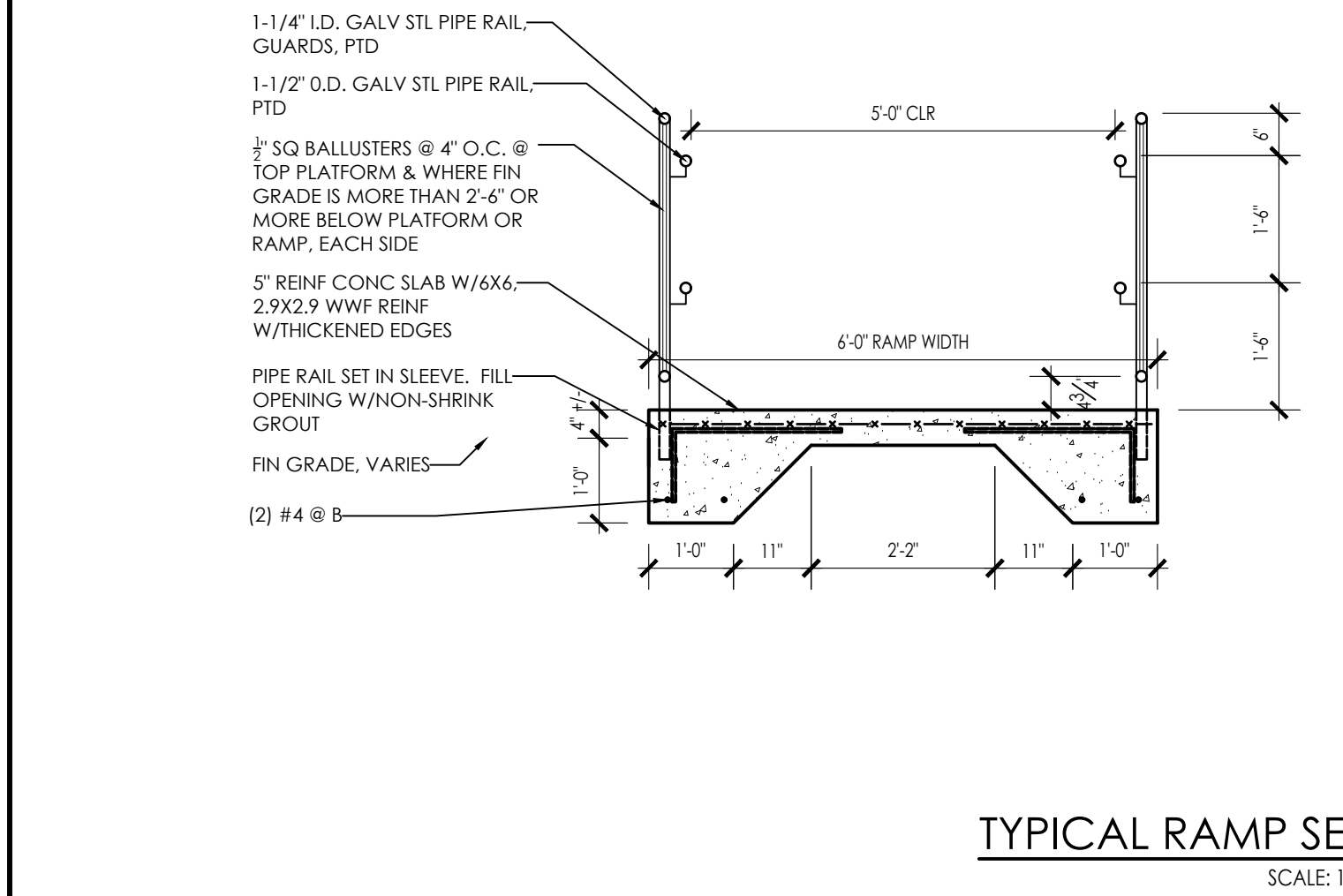
BATHROOM ELEVATIONS 4
SCALE: 1/2" = 1'-0"
A-6.3



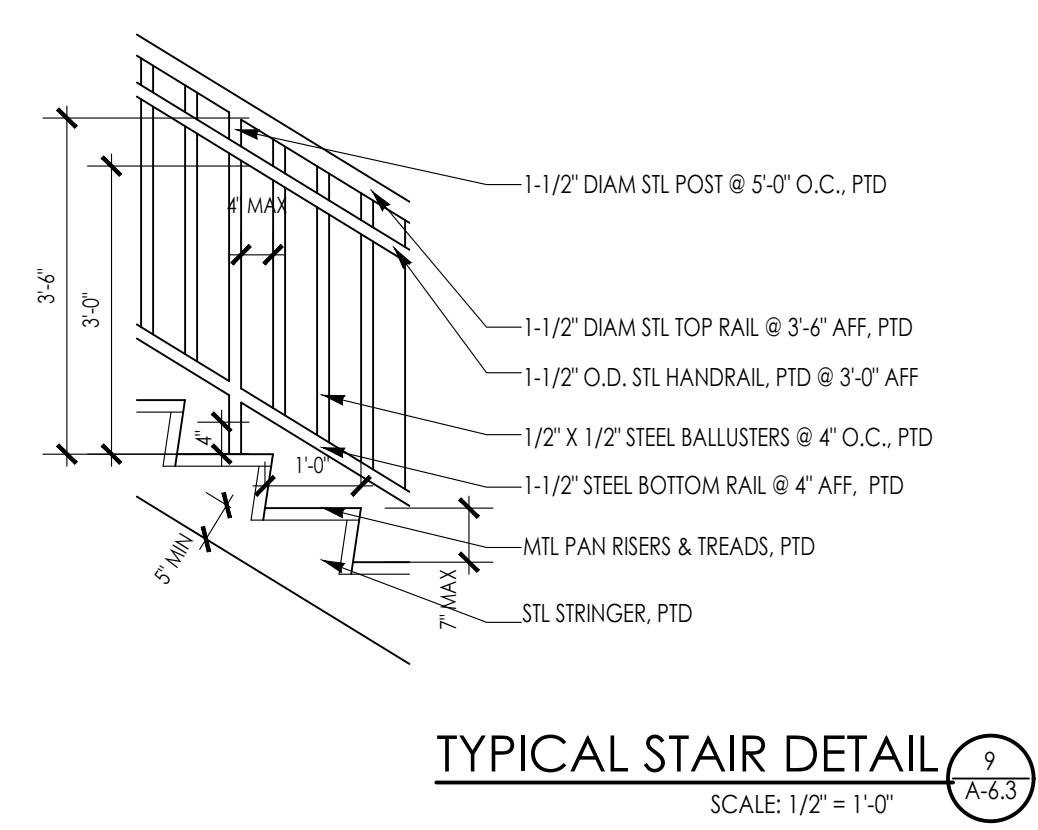
BATHROOM ELEVATIONS 5
SCALE: 1/2" = 1'-0"
A-6.3



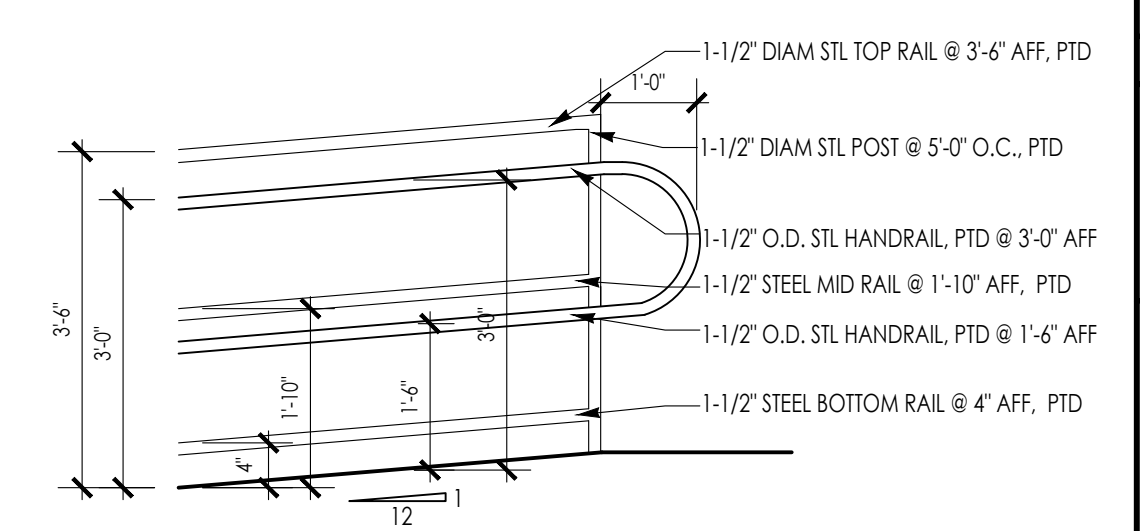
BATHROOM ELEVATIONS 6
SCALE: 1/2" = 1'-0"
A-6.3



TYPICAL RAMP SECTION 8
SCALE: 1/2" = 1'-0"
A-6.3



TYPICAL STAIR DETAIL 9
SCALE: 1/2" = 1'-0"
A-6.3



TYPICAL RAIL DETAIL 10
SCALE: 1/2" = 1'-0"
A-6.3

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	
1	
	REVISION DATE

DATE: 09.12.2022
SCALE: AS NOTED
PROJECT: -
DRAWN: JGH
CHECKED: JGH

PROJECT TITLE:
NEW RESIDENTIAL BUILDING
111 AUSTIN STREET
WORCESTER, MA 01609

SHEET TITLE:
TYPICAL DETAILS

SHEET NUMBER:

DOOR SCHEDULE table with columns: DOOR NUMBER, DOOR (TYPE, MATERIAL, FINISH, LABEL, SIZE), FRAME (TYPE, MATERIAL, FINISH, DETAILS), HARDWARE (HINGES, LATCH SET, LOCK, etc.), LOCATION, REMARKS. Rows include second floor apartments 201-206.

DOOR SCHEDULE table with columns: DOOR NUMBER, DOOR (TYPE, MATERIAL, FINISH, LABEL, SIZE), FRAME (TYPE, MATERIAL, FINISH, DETAILS), HARDWARE (HINGES, LATCH SET, LOCK, etc.), LOCATION, REMARKS. Rows include third floor apartments 301-306.



ARCHITECTS STAMP:

Table for ARCHITECTS STAMP with fields for name, title, and date.

ENGINEER:

Table for ENGINEER with fields for name, title, and date.

ENGINEER'S STAMP:

Table for ENGINEER'S STAMP with fields for name, title, and date.

GENERAL INFORMATION:

Table for GENERAL INFORMATION with fields for SCHEMATIC, DESIGN DEVELOPMENT, BID, PERMIT, CONSTRUCTION, EXISTING CONDITIONS, and dates.

Legend table for construction phases: SCHEMATIC, DESIGN DEVELOPMENT, BID, PERMIT, CONSTRUCTION, EXISTING CONDITIONS.

Table for REVISION DATE with columns for revision number and date.

Table for project details: DATE, SCALE, PROJECT, DRAWN, CHECKED.

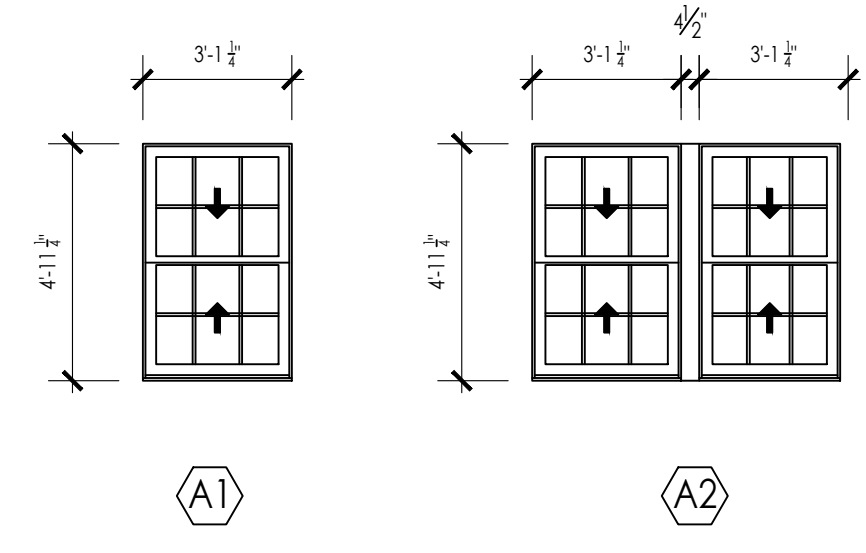
PROJECT TITLE: NEW RESIDENTIAL BUILDING 111 AUSTIN STREET WORCESTER, MA 01609

SHEET TITLE: DOOR SCHEDULE

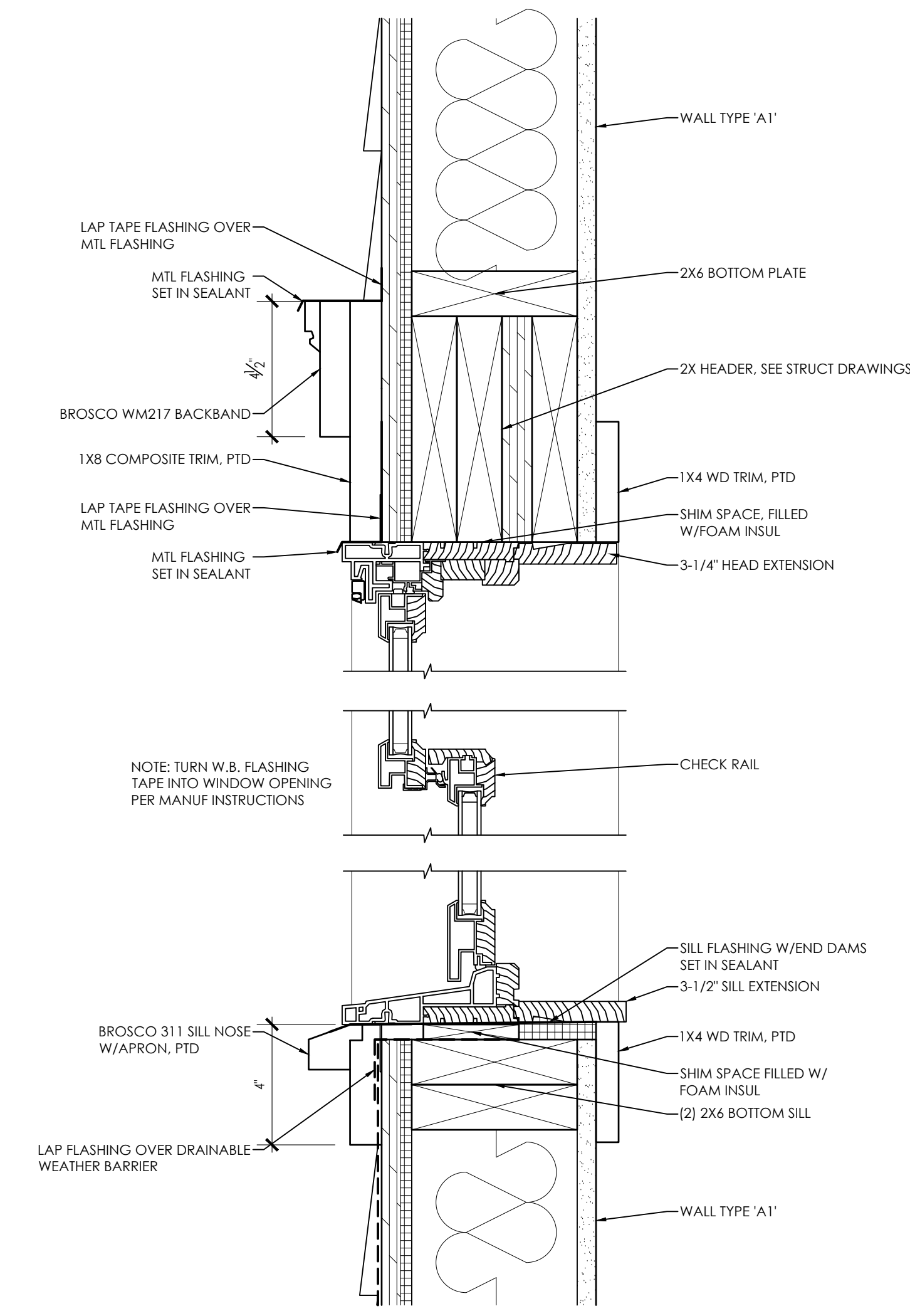
SHEET NUMBER: A-7.1

WINDOW SCHEDULE

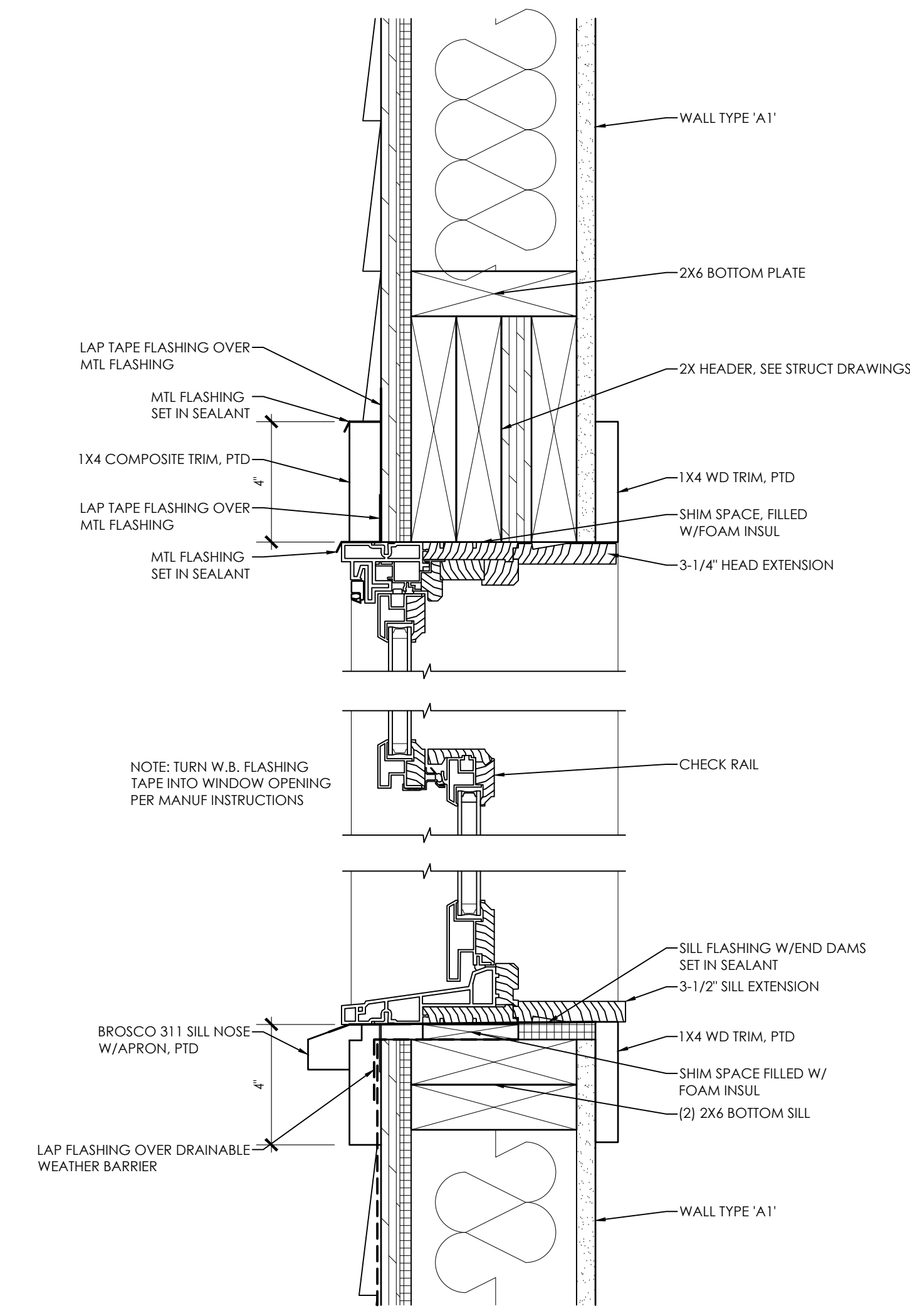
TYPE	MATERIAL	MANUFACTURER	MODEL NUMBER	ROUGH OPENING			REMARKS
				WIDTH	HEIGHT	SILL	
A1	WD	ANDERSEN - A SERIES	A3250	3'-2"	5'-0"	2'-8" AFF	DOUBLE-HUNG, EGRESS WINDOW
A2	WD	ANDERSEN - A SERIES	(2) A3250 W/4-1/2" MULL	6'-8"	5'-0"	2'-8" AFF	DOUBLE-HUNG, EGRESS WINDOW



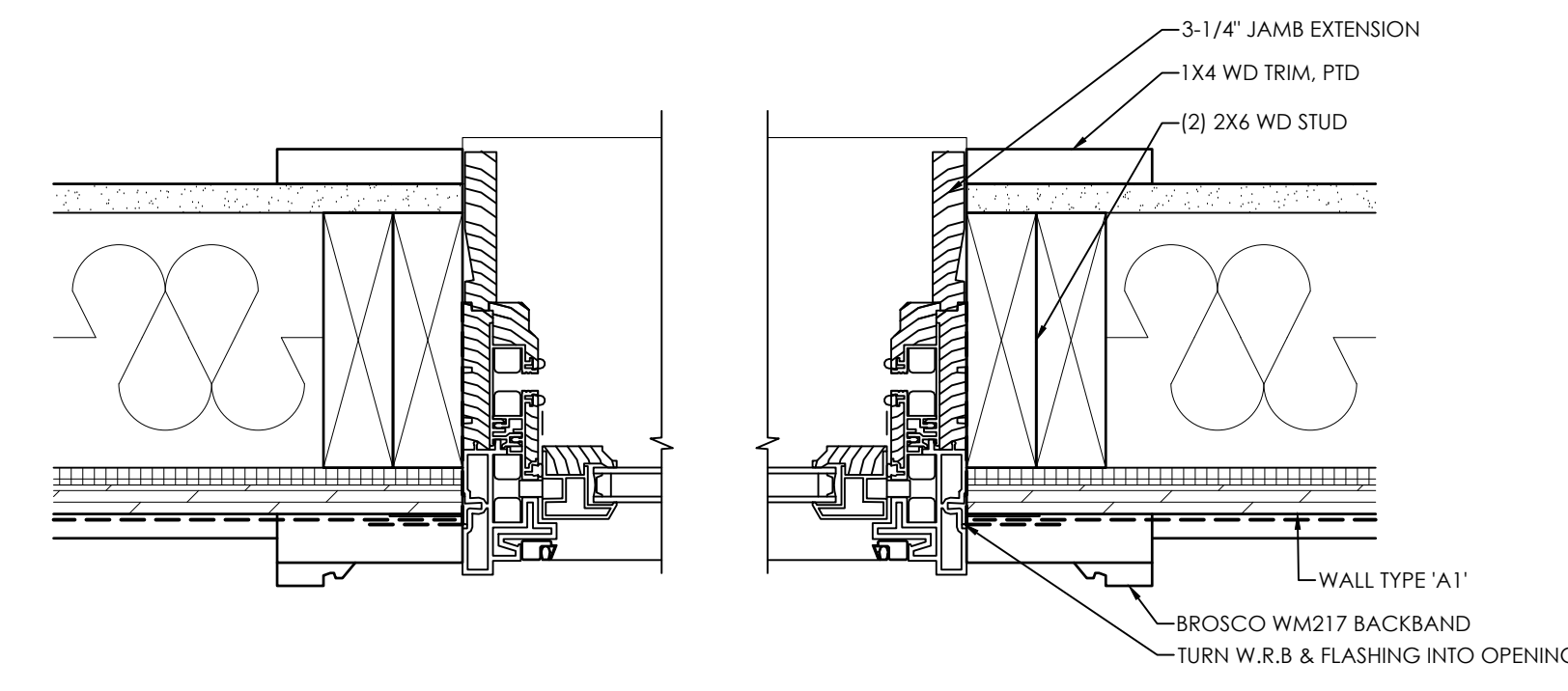
1" LOW-E INSUL GLAZING REQUIRED
SHGC: 0.40
U-VALUE: 0.29 MAX



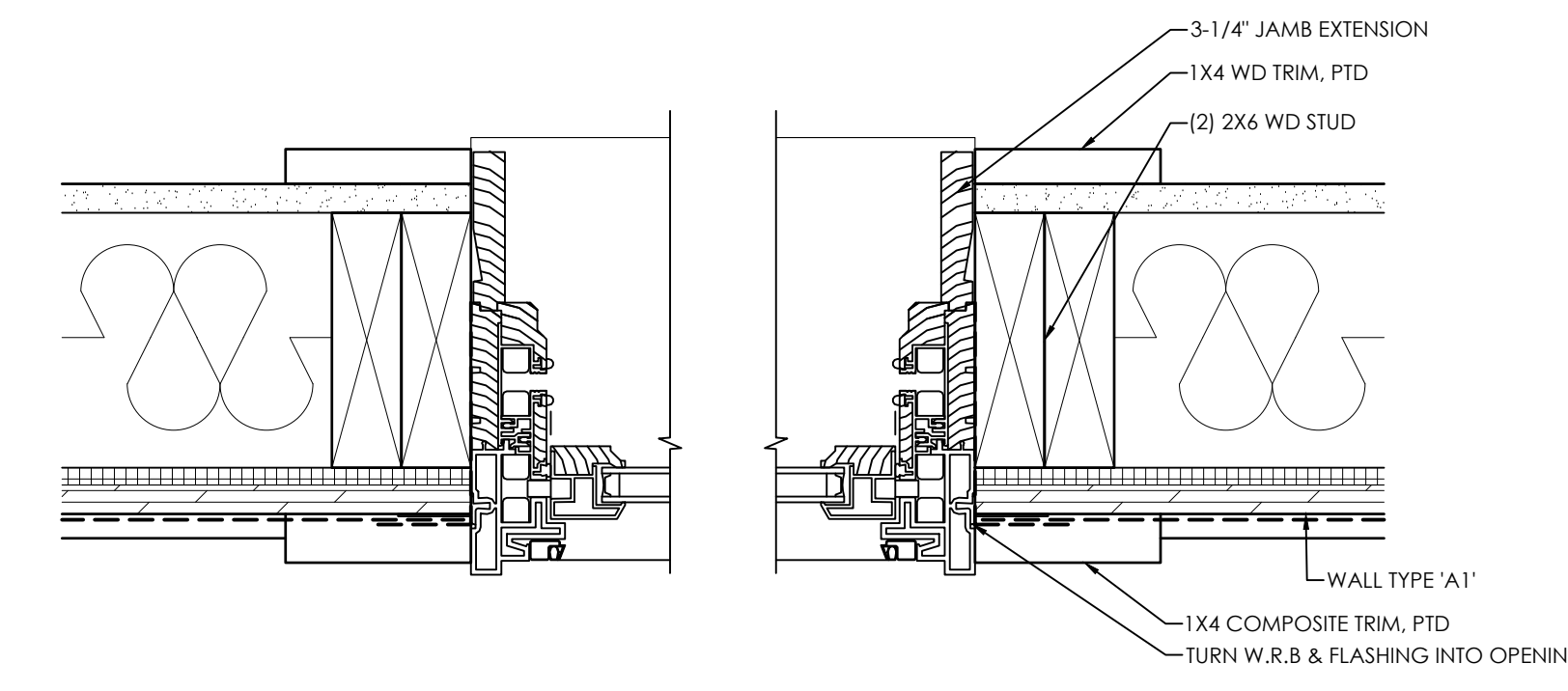
HEAD/SILL DETAIL @ FIRST FLOOR WINDOWS 2
SCALE: 3" = 1'-0" A-7.2



HEAD/SILL DETAIL @ SECOND FLOOR WINDOWS 3
SCALE: 3" = 1'-0" A-7.2



WINDOW JAMB DETAIL @ FIRST FLOOR 1
SCALE: 3" = 1'-0" A-7.2



WINDOW JAMB DETAIL @ FIRST FLOOR 1
SCALE: 3" = 1'-0" A-7.2

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
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WORCESTER, MASSACHUSETTS 01508
(508) 752-5333 (F) 508-752-5348
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	08.17.2022
<input type="checkbox"/>	DESIGN DEVELOPMENT	09.12.2022
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	02.14.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

4	
3	
2	
1	
	REVISION DATE

DATE:	09.12.2022
SCALE:	AS NOTED
PROJECT:	-
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
NEW RESIDENTIAL BUILDING
111 AUSTIN STREET
WORCESTER, MA 01609

SHEET TITLE:
WINDOW TYPES & DETAILS

SHEET NUMBER:

A-7.2

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	08.17.2022
DESIGN DEVELOPMENT	09.12.2022
BID	N/A
PERMIT	02.14.2023
CONSTRUCTION	
EXISTING CONDITIONS	

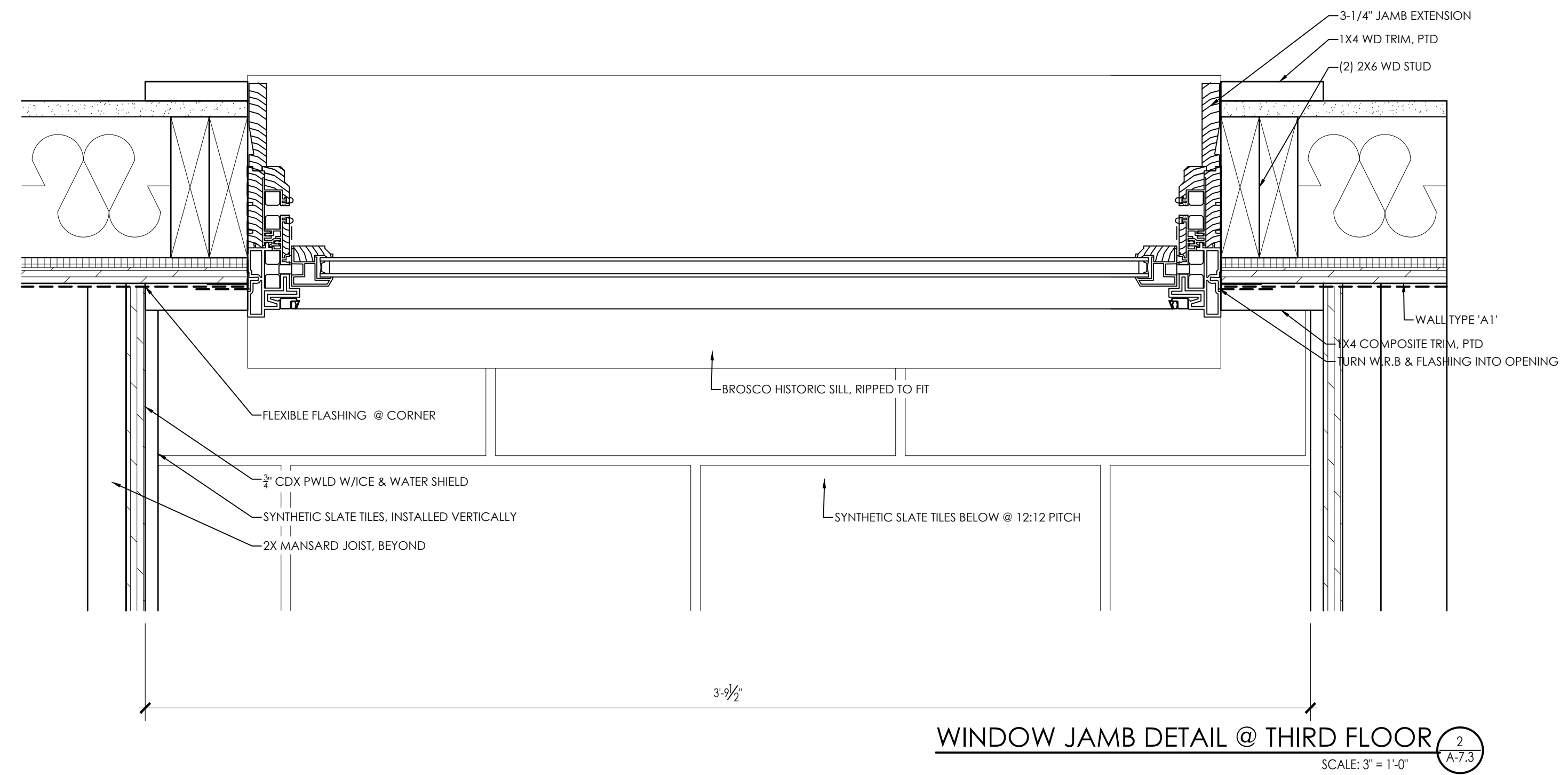
4	
3	
2	
1	
REVISION DATE	

DATE: 09.12.2022
 SCALE: AS NOTED
 PROJECT: - -
 DRAWN: JGH
 CHECKED: JGH

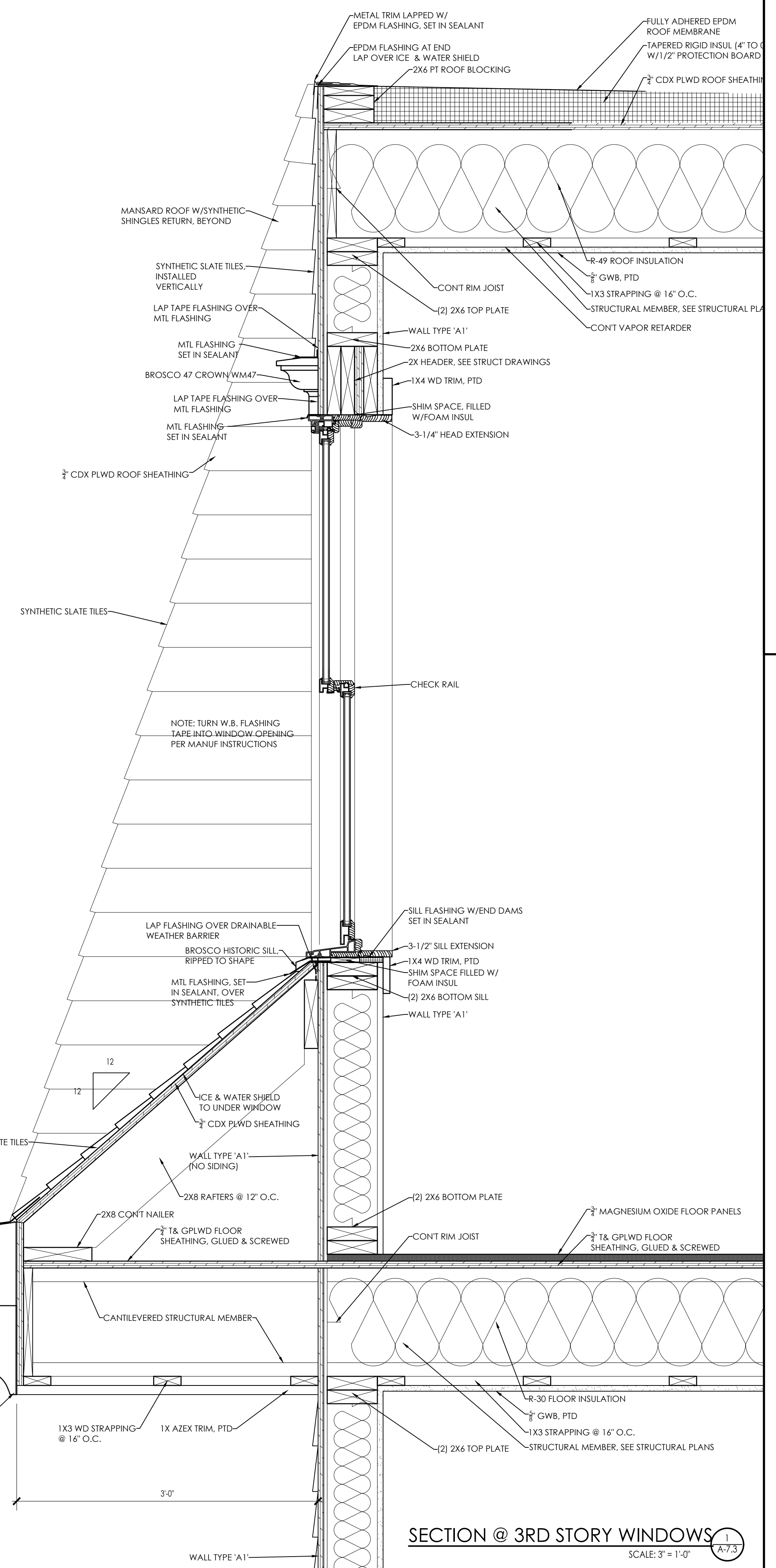
PROJECT TITLE:
 NEW RESIDENTIAL BUILDING
 111 AUSTIN STREET
 WORCESTER, MA 01609

SHEET TITLE:
 WINDOW DETAILS

SHEET NUMBER:
A-7.3



WINDOW JAMB DETAIL @ THIRD FLOOR
 SCALE: 3" = 1'-0"



SECTION @ 3RD STORY WINDOWS
 SCALE: 3" = 1'-0"

HISTORIC LEVEL 3 ALTERATION: 114 AUSTIN STREET

PROJECT LOCATION
114 AUSTIN STREET
WORCESTER, MA 01609

CLIENT
POLAR VIEWS
89 WEST MAIN STREET, UNIT 101
NORTHBOROUGH, MA 01532
MR DANIEL YARNIE

CIVIL ENGINEER
J.M. GRENIER ASSOCIATES, INC.
118 TURNPIKE ROAD, SUITE 200
SOUTHBOROUGH, MA 01772
MR. JOHN GRENIER
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(T) 508.845.2500

ARCHITECT
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MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES & DETAILS
ARCHITECTURAL	
D-1.0	CONCEPTUAL DEMO PLAN
A-0.1	CONCEPTUAL FOUNDATION PLAN
A-1.1	BASE PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	SECOND FLOOR PLAN
A-1.4	ROOF PLAN
A-2.0	SIDE ELEVATION
A-2.1	QUINCY STREET ELEVATION
A-2.2	AUSTIN STREET ELEVATION
A-2.3	REAR ELEVATION
A-2.4	PROPOSED MATERIAL PHOTOS
A-2.5	CARRIAGE HOUSE SECTION
A-2.6	NEW BUILDING SECTION
A-4.0	KITCHEN AND BATHROOM INTERIOR ELEVATIONS
A-8.0	DOOR & WINDOW TYPES, FINISH SCHEDULE

NOTE:
PORTIONS OF THE PROJECT ARE TO BE DESIGN-BUILD UNDER THE GENERAL CONTRACTOR.
GENERAL CONTRACTOR TO PROVIDE ARCHITECT WITH STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM AND PLUMBING DRAWINGS FOR REVIEW BEFORE SUBMISSION FOR PERMIT.



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

ABBREVIATIONS

ACOUSTICAL CEILING TILE	A.C.T	MANUFACTURED	MFD
ACOUSTIC	ACST	MARBLE	MAR
ABOVE FINISHED FLOOR	AF	MASONRY	MAS
ALUMINUM	ALUM	MASONRY OPENING	MSRY
ARCHITECT	ARCH	MATERIAL	MAT
AVERAGE	AVG	MASONRY	MW
BEAM	BM	MECHANICAL	MAX
BOARD	BD	METAL	ML
BRASS	BR	METER	M
BRONZE	BRZ	MIRIAM	MIR
BUILDING	BLDG	MISCELLANEOUS	MISC
BULLET IN	BLIN	MULLION	MULL
CABINET	CAB	NATURAL	NAT
CEILING	CLG	NOMINAL	NOM
CENTER LINE	CL	NOT IN CONTRACT	NIC
CENTIMETER	CM	NOT TO SCALE	NIS
CERAMIC	CER	NUMBER	N
CLEAR	CLR	ON CENTER	OC
COLD WATER	CW	OPENING	OPG
COLUMN	COL	OPPOSITE	OPP
CONCRETE	CONC	PAINTED	PID
CONCRETE MASONRY UNIT	CMU	PARTITION	PN
CONSTRUCTION	CONST	PLASTER	PL
CONTINUOUS	CONTR	PLASTIC LAMINATE	PLAM
CONTRACTOR	CONTR	PLYWOOD	PLYW
DEMOLITION	DEMO	PRESSURE TREATED	P.T.
DETAIL	DET	QUANTITY	QTY
DIAMETER	DIA OR	QUARRY TILE	QT
DIMENSION	DM	RADIUS	R
DOOR	DR	REFERENCE	REF
DOWN	DN	REINFORCE	RENF
DRAWING	DWG	REMOVE	RMV
DRINKING FOUNTAIN	DF	REQUIRED	REQD
EACH	EA	REVISION	REV
ELECTRIC	ELEC	RIBB	RS
ELECTRIC WATER COOLER	EW	ROOM	RM
EQUAL	EQ	ROUGH OPENING	R.O.
EQUIPMENT	EQUIP	SCHEDULE	SCH
ESTIMATE	EST	SECTION	SECT
EXISTING	EXIST	SHEET	SH
EXTERIOR	EXT	SIMILAR	SIM
FABRICATE	FAB	SOLID CORE	SC
FEET	OR FT	SPECIFICATIONS	SPEC
FINISH	FIN	SQUARE FEET	SF
FINISHED ALL OVER	FAO	SQUARE INCHES	SQ IN.
FIREPROOF	FP	STAINLESS STEEL	SS
FLOOR	FLR	STANDARD	STD
FLORESCENT	FLUOR	STEEL	ST
FULL SIZE	FS	STRUCTURAL	STR
FURNISH	FURN	SUSPENDED	SUSP
GAUGE	GA	SYSTEM	SYS
GENERAL	GEN	TEMPERATURE	TEMP
GLASS	GL	TEMPERATURE	T&G
GYPSON BOARD	GYP BD	TREAD	TR
HARDWARE	HW	TYPICAL	TR
HARDWOOD	HWWD	UNFINISHED	UNF
HEIGHT	HT	URNAL	UR
HOLLOW CORE	HC	VENT THROUGH ROOF	VTR
HORIZONTAL	HOR	VERIFY IN THE FIELD	VFI
HOT WATER	HW	VERTICAL	VERT
INCH	" OR IN.	VENT TILE	VNT
INSULATION	INS	WARRANTY	WNT
INTERIOR	INT	WATER CLOSET	WC
JUNCTION BOX	JBOX	WATERPROOF	WP
LAVATORY	LAV	WEIGHT	WT
LIGHT	LIC	WIDTH	W
LIGHTING	LIC	WITH	W
LINEAR	LN	WITHOUT	WO
LINOLEUM	LNO	WOOD	WD
MANUFACTURER	MFR	WROUGHT IRON	WI
GANVAZE	GAV	YARD	YD
GYPSON WALL BOARD	GWB		

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	EXIST WALL TO REMAIN
	EARTH - FILL	DEMO EXIST WALL
	GRAVEL	NEW CONSTRUCTION
	SAND	PULL STATION
	CONCRETE	EMERGENCY EXIT SIGN
	CONCRETE MASONRY	HORN/STROBE
	BRICK	STROBE
	BITUMINOUS CONCRETE	EMERGENCY BATTERY UNIT
	BATT INSULATION	EMERGENCY EXIT SIGN W/BATTERY UNIT
	RIGID INSULATION	FIRE EXTINGUISHER
	WOOD - FRAMING	CARD READER ACCESS
	WOOD - FINISH	EMERGENCY SHOWER
	PLYWOOD - SMALL SCALE	THERMOSTAT
	ACOUSTICAL TILE	PHOTOELECTRIC SMOKE & CO DETECTOR
	STEEL	HEAT & CO DETECTOR
	ALUMINUM	FLOURESCENT LIGHTING FIXTURE
		SPRINKLER HEAD
		HVAC GRILLE - RETURN
		HVAC - SUPPLY
		RECESSED DOWN LIGHT
		MOTION DETECTOR

LOCUS MAP



3/7/2024 6:37 AM

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
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2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL DEMOLITION NOTES

A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANS110.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE. ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES).
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

B. CUTTING AND PATCHING

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

C. M.E.P. DEMOLITION NOTES

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

D. CLEANING

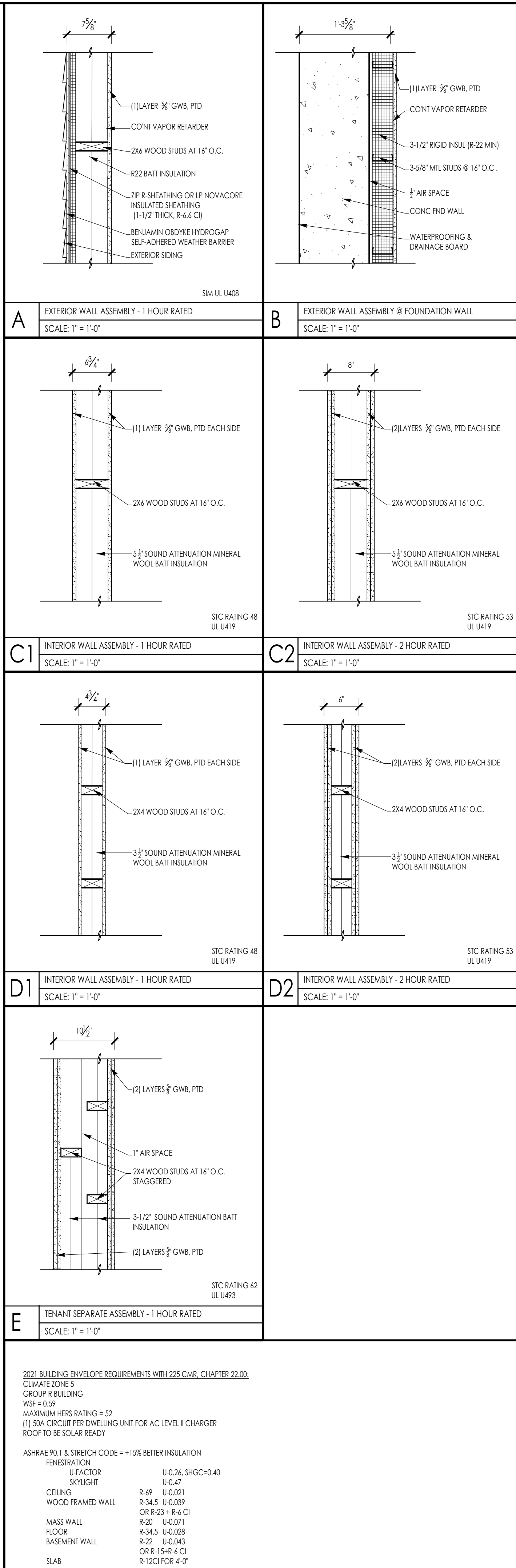
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS

- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC., TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

GENERAL CONSTRUCTION NOTES

- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE:** ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
FIRST FLOOR
300 MAIN STREET
WORCESTER, MASSACHUSETTS
(508) 752-5333
(508) 752-5348
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH
PROJECT TITLE:	5-UNIT RESIDENTIAL HISTORIC DISTRICT 114 AUSTIN ST WORCESTER, MA 01609
SHEET TITLE:	GENERAL NOTES & DETAILS

SHEET NUMBER:
T-1.1

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

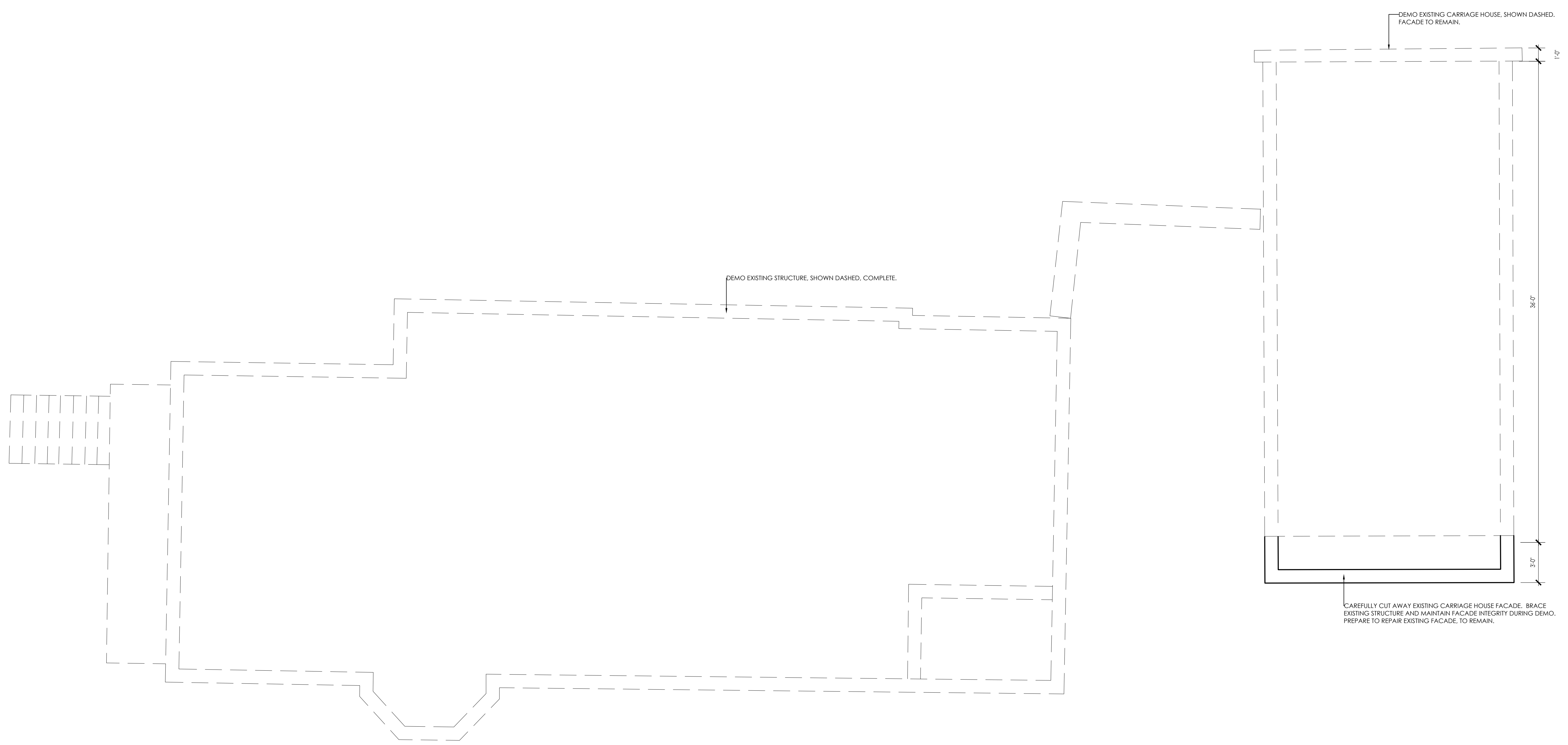
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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 CONCEPTUAL DEMO PLAN

SHEET NUMBER:
D-1.0



DEMO EXISTING STRUCTURE, SHOWN DASHED, COMPLETE.

DEMO EXISTING CARRIAGE HOUSE, SHOWN DASHED, FACADE TO REMAIN.

CAREFULLY CUT AWAY EXISTING CARRIAGE HOUSE FACADE. BRACE EXISTING STRUCTURE AND MAINTAIN FACADE INTEGRITY DURING DEMO. PREPARE TO REPAIR EXISTING FACADE, TO REMAIN.

DEMOLITION NOTES 10.16.23

- REFER TO SHEET 1.1 FOR ADDITIONAL DEMOLITION NOTES
- DEMOLISH AND REMOVE FROM SITE THE EXISTING 3 STORY BUILDING (BASEMENT, FIRST FLOOR, SECOND FLOOR INCLUDING FOUNDATION WALLS AND FOOTINGS)
- DEMOLISH AND REMOVE FROM SITE THE EXISTING CARRIAGE HOUSE STRUCTURE WITH THE EXCEPTION OF THE FRONT 3' OF THE BUILDING FACING QUINCY STREET WHICH SHALL REMAIN AND BE REPAIRED AND PAINTED.
- REMOVE EXISTING CONCRETE RETAINING WALL BETWEEN MAIN STRUCTURE AND CARRIAGE HOUSE.
- DEMOLISH AND REMOVE FROM SITE ALL EXISTING BITUMINOUS AND CONCRETE PAVEMENT AND PREP FOR NEW.

CONCEPTUAL DEMO PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

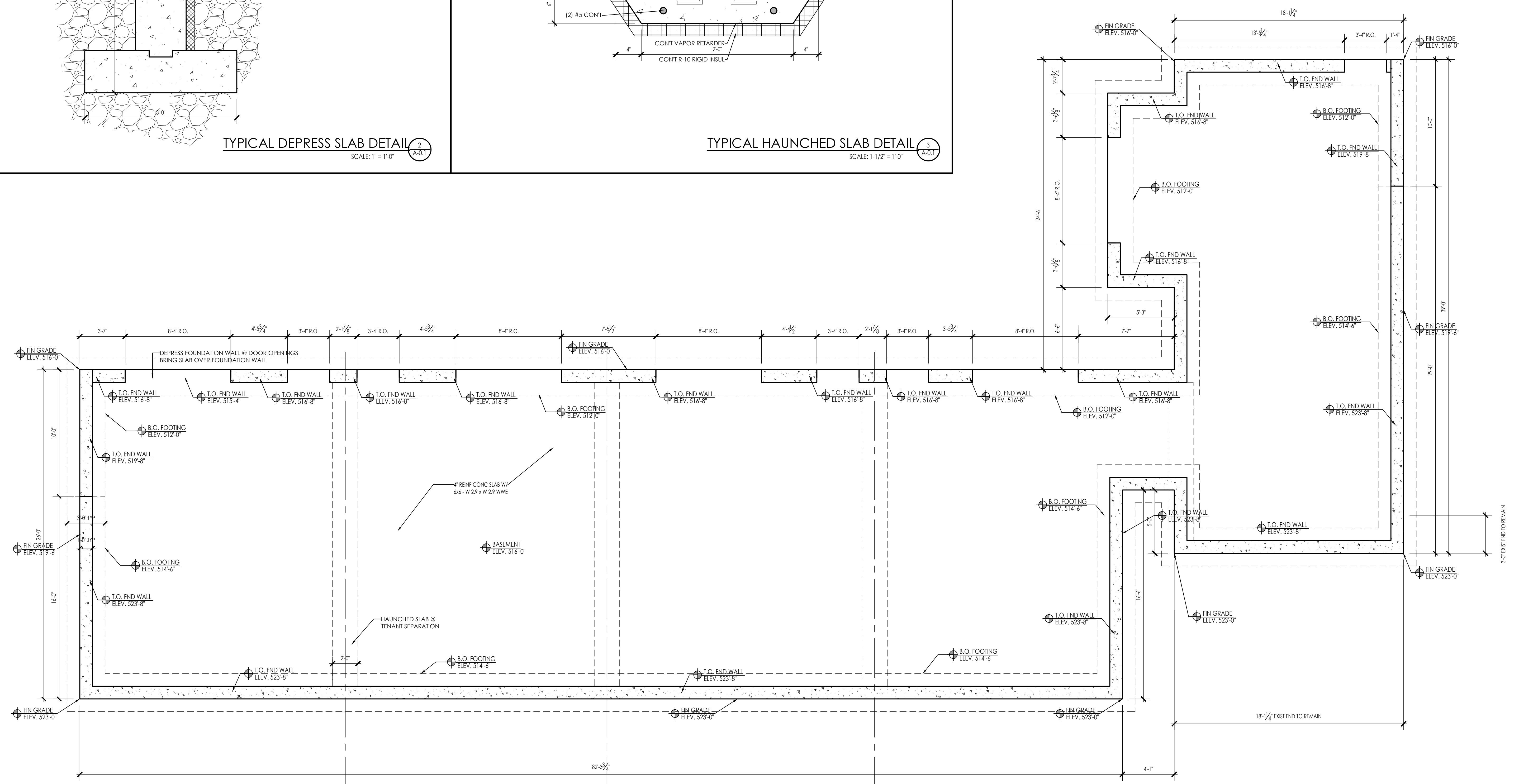
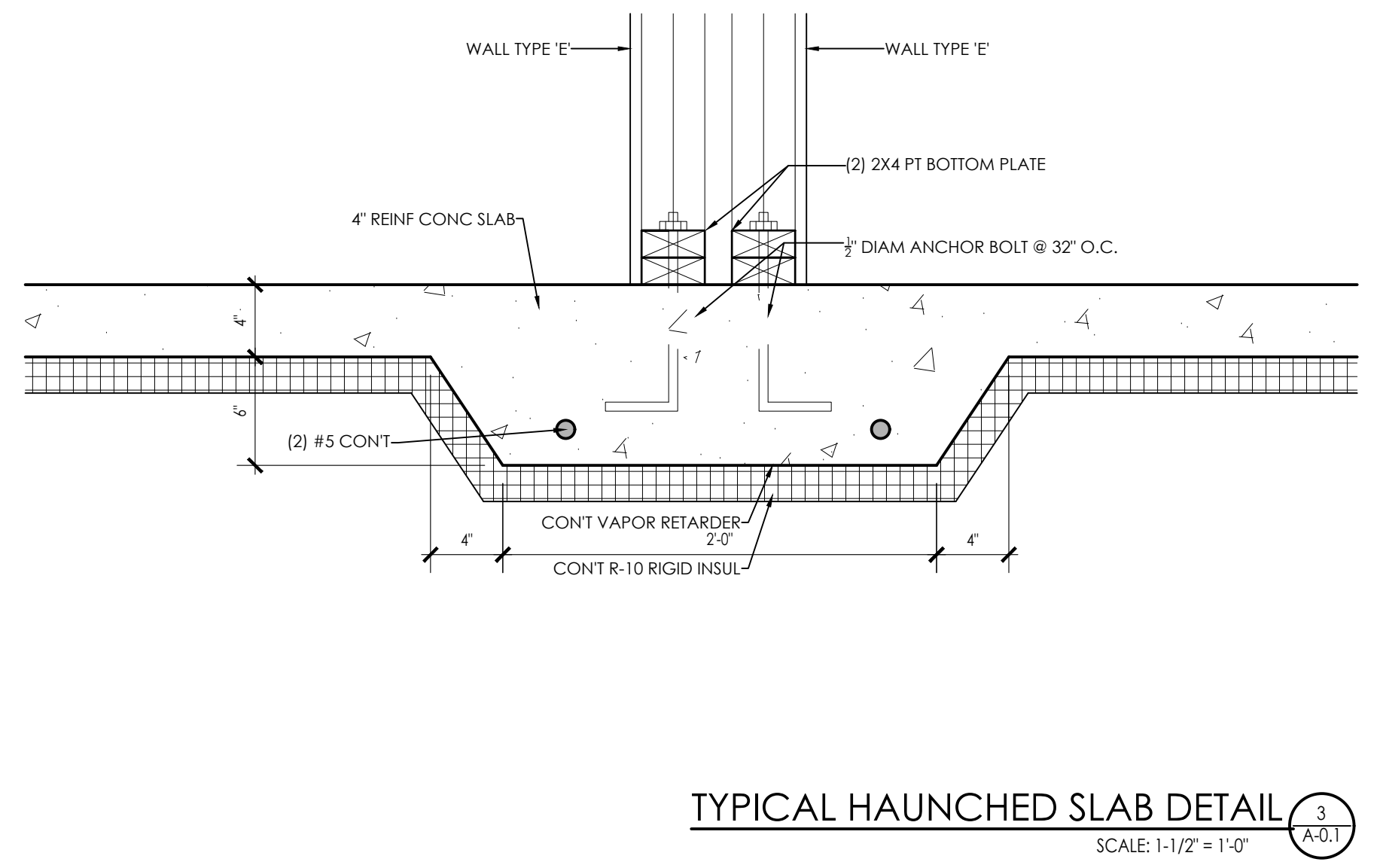
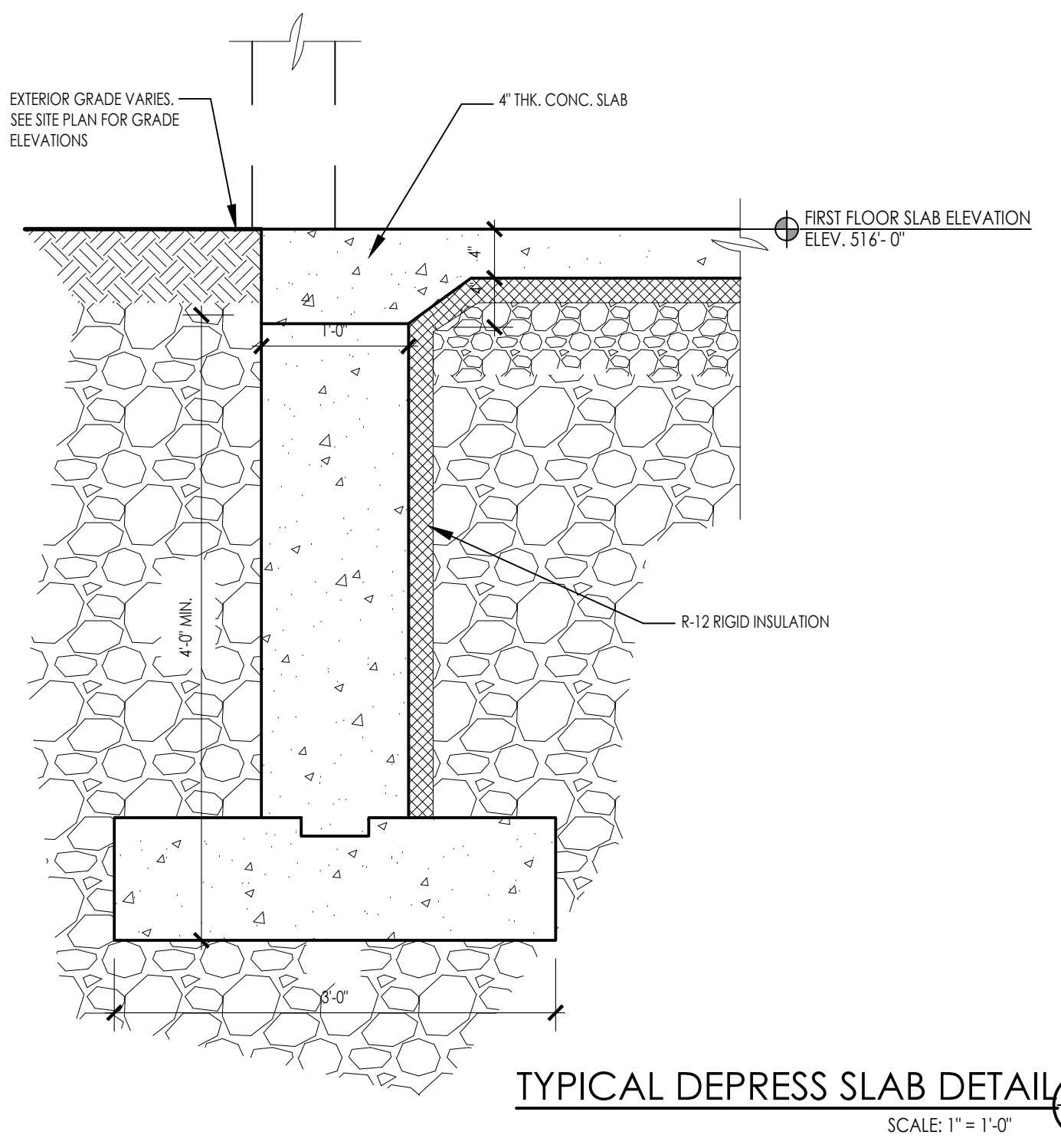
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	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 CONCEPTUAL FOUNDATION PLAN

SHEET NUMBER:
A-0.1



CONCEPTUAL FOUNDATION PLAN (1)
 SCALE: 1/4" = 1'-0" (A-0.1)

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

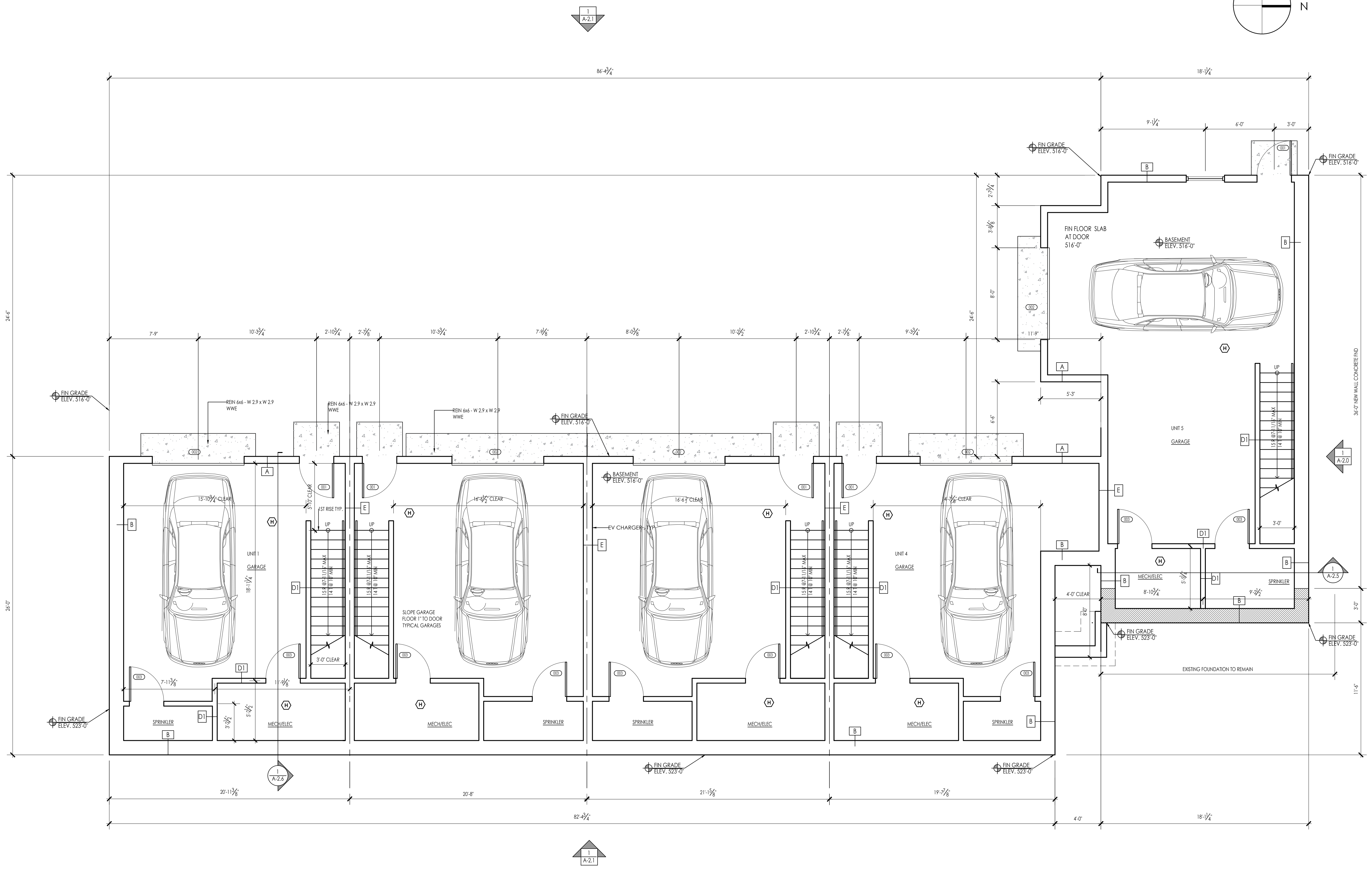
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DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

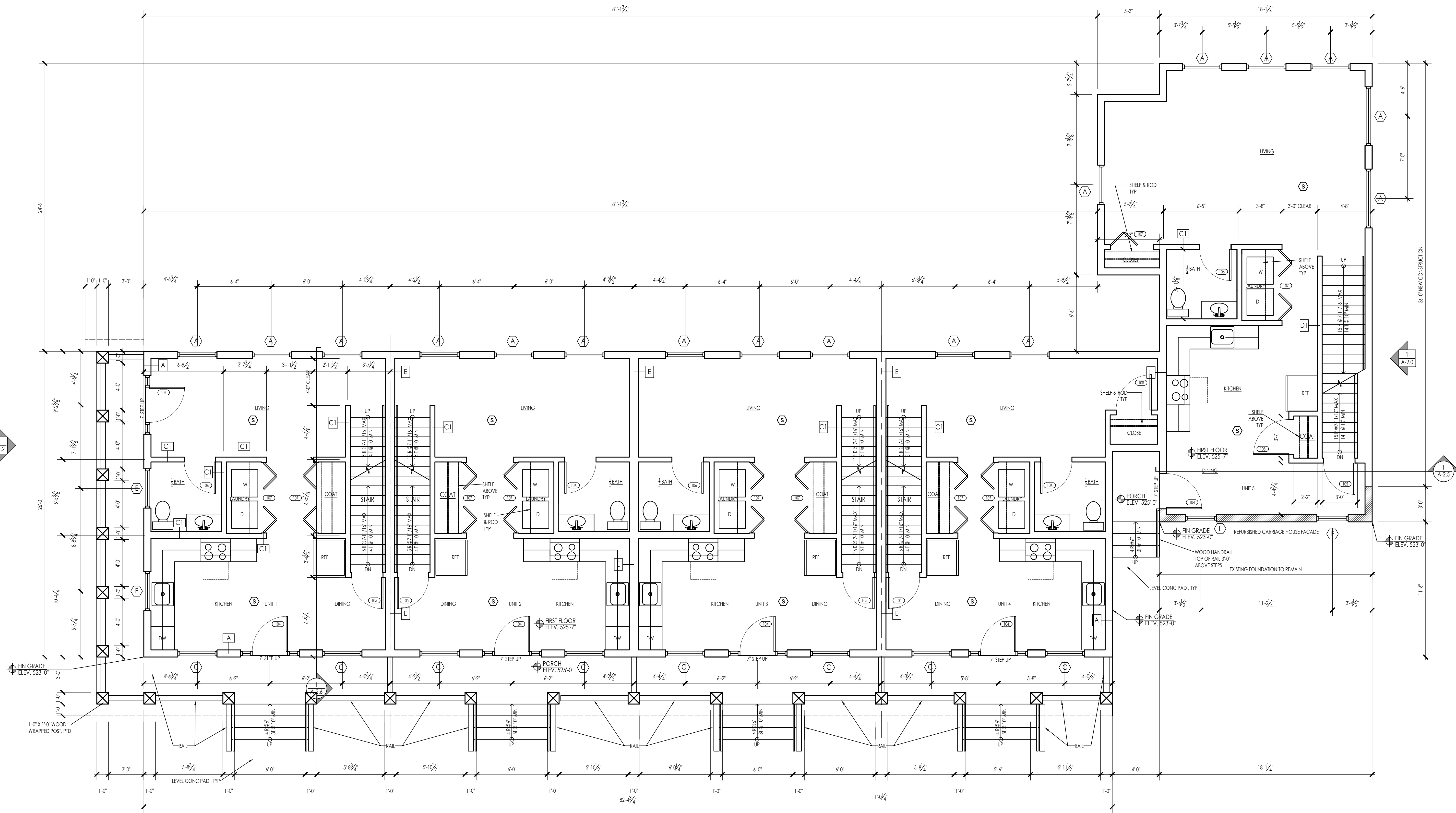
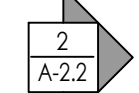
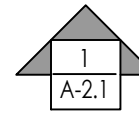
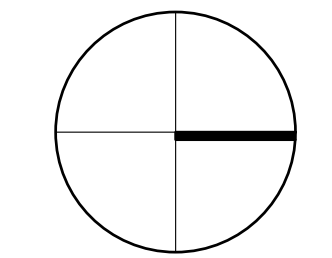
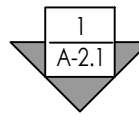
SHEET TITLE:
 BASEMENT PLAN

SHEET NUMBER:

A-1.0



BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



ARCHITECT:

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 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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DATE:	12.28.2023
SCALE:	AS NOTED
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DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 FIRST FLOOR PLAN

SHEET NUMBER:

A-1.1

FIRST FLOOR PLAN 1
 SCALE: 1/4" = 1'-0"

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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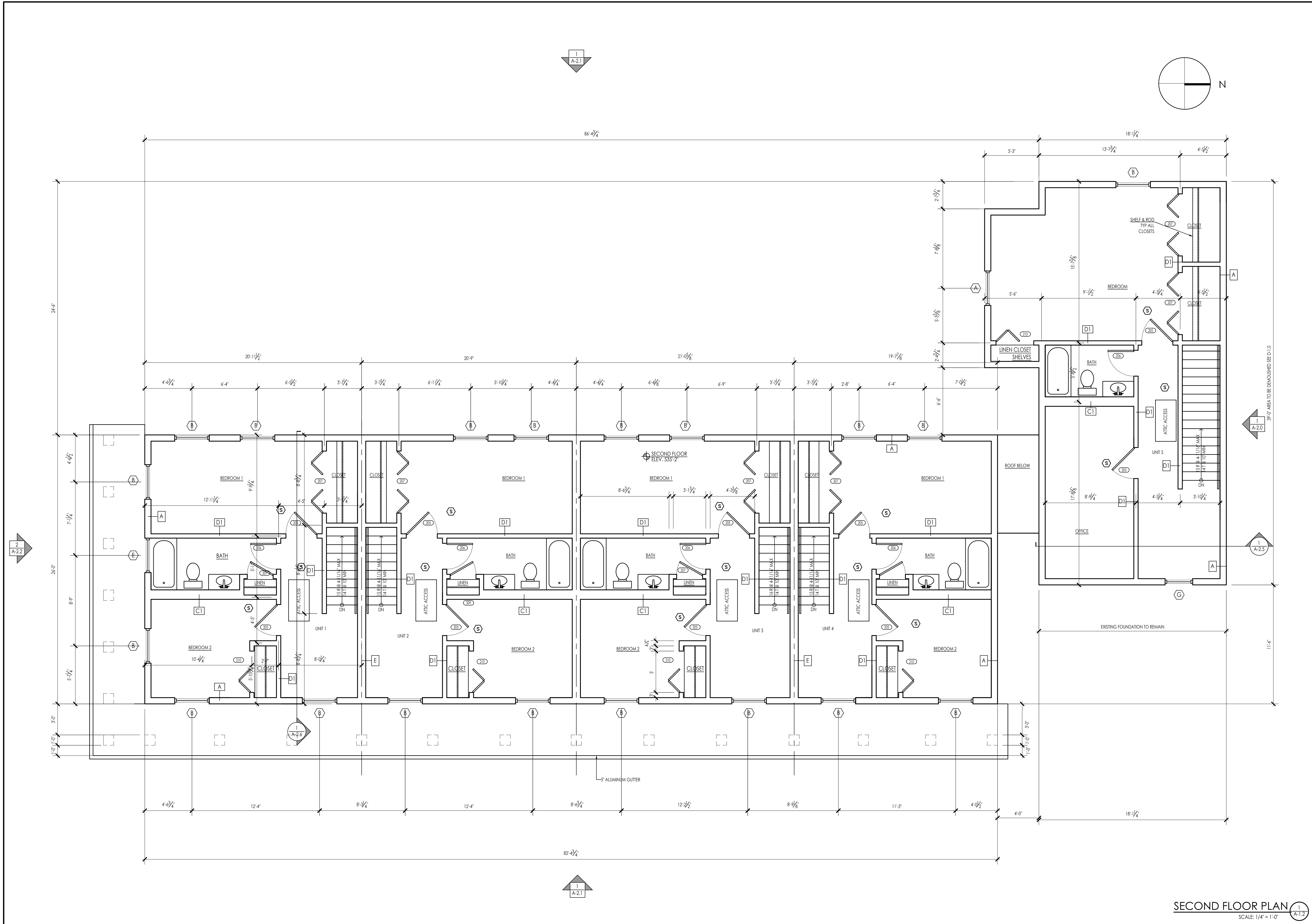
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PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

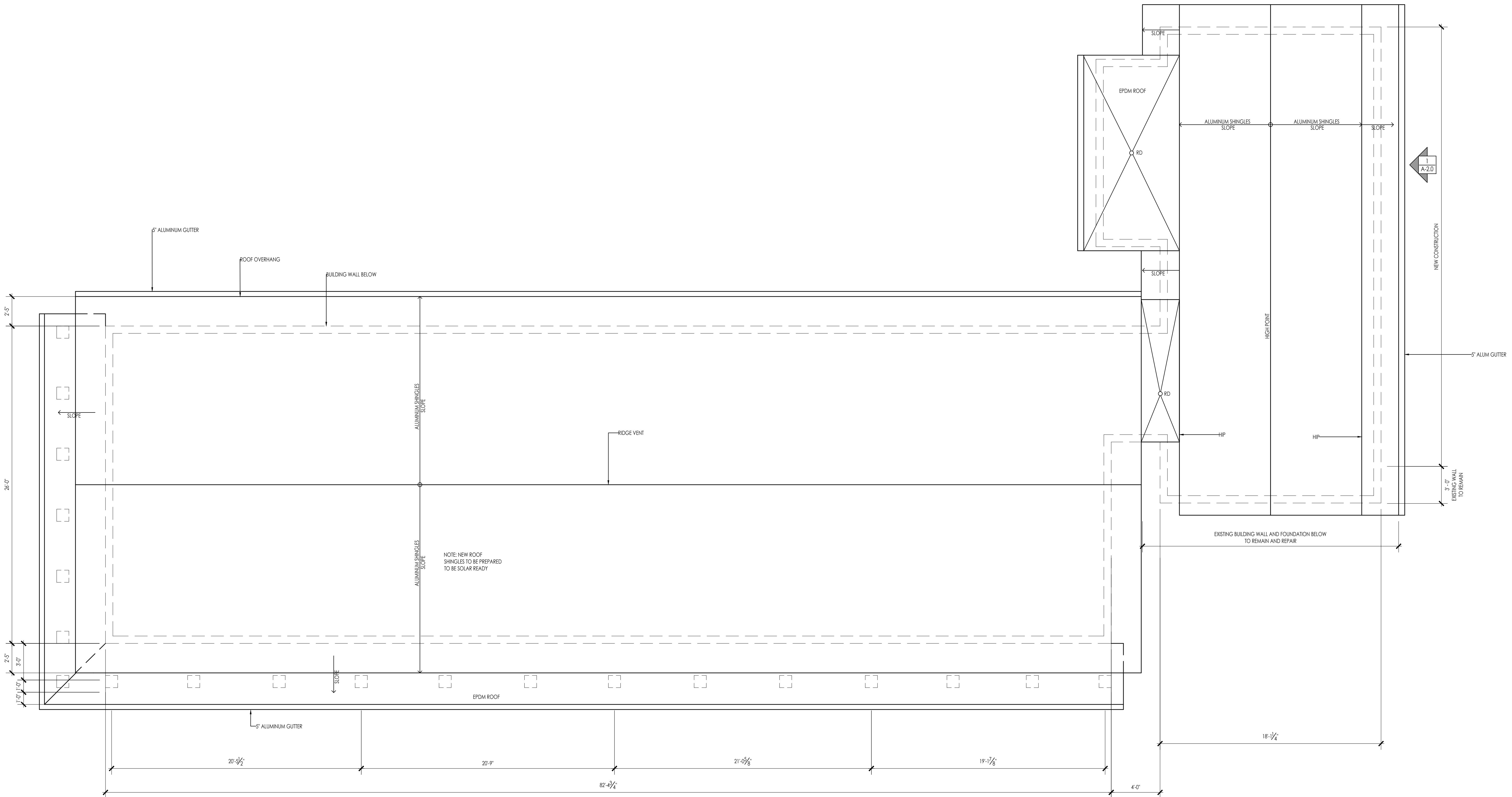
SHEET TITLE:
 SECOND FLOOR PLAN

SHEET NUMBER:

A-1.2



1
A-2.1



26'-0"
2'-5"
3'-0"
1'-0"
1'-0"

5" ALUMINUM GUTTER
ROOF OVERHANG
BUILDING WALL BELOW

ALUMINUM SHINGLES
SLOPE

NOTE: NEW ROOF SHINGLES TO BE PREPARED TO BE SOLAR READY

EPDM ROOF

5" ALUMINUM GUTTER

20'-3/2"

20'-9"

21'-4 5/8"

19'-1 1/8"

82'-4 1/4"

4'-0"

ROOF CONSTRUCTION

EAST COAST ALUMINUM METAL ROOFING
EAVE TO PEAK TITANIUM HIGH TEMPERATURE ICE AND WATER SHIELD.
COMAR VENT 3 SYNTHETIC BREATHABLE UNDERLAYMENT.
ALUMINUM FLASHINGS, PLUMBING VENTS AND CHIMNEY COLLARS AS REQUIRED.
PERMALOCK ALUMINUM SHINGLES INSTALL PER EAST COAST ALUMINUM METAL ROOFING REQUIREMENTS FOR WARRANTY AND WORKMANSHIP.

1
A-2.0

NEW CONSTRUCTION

5" ALUM GUTTER

5'-0"
EXISTING WALL TO REMAIN

EXISTING BUILDING WALL AND FOUNDATION BELOW TO REMAIN AND REPAIR

HP

HP

HIGHPOINT

1
A-2.1

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WILMINGTON, MASSACHUSETTS 01890
 (01508) 755-0333 (01508) 372-5368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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	REVISION DATE

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SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

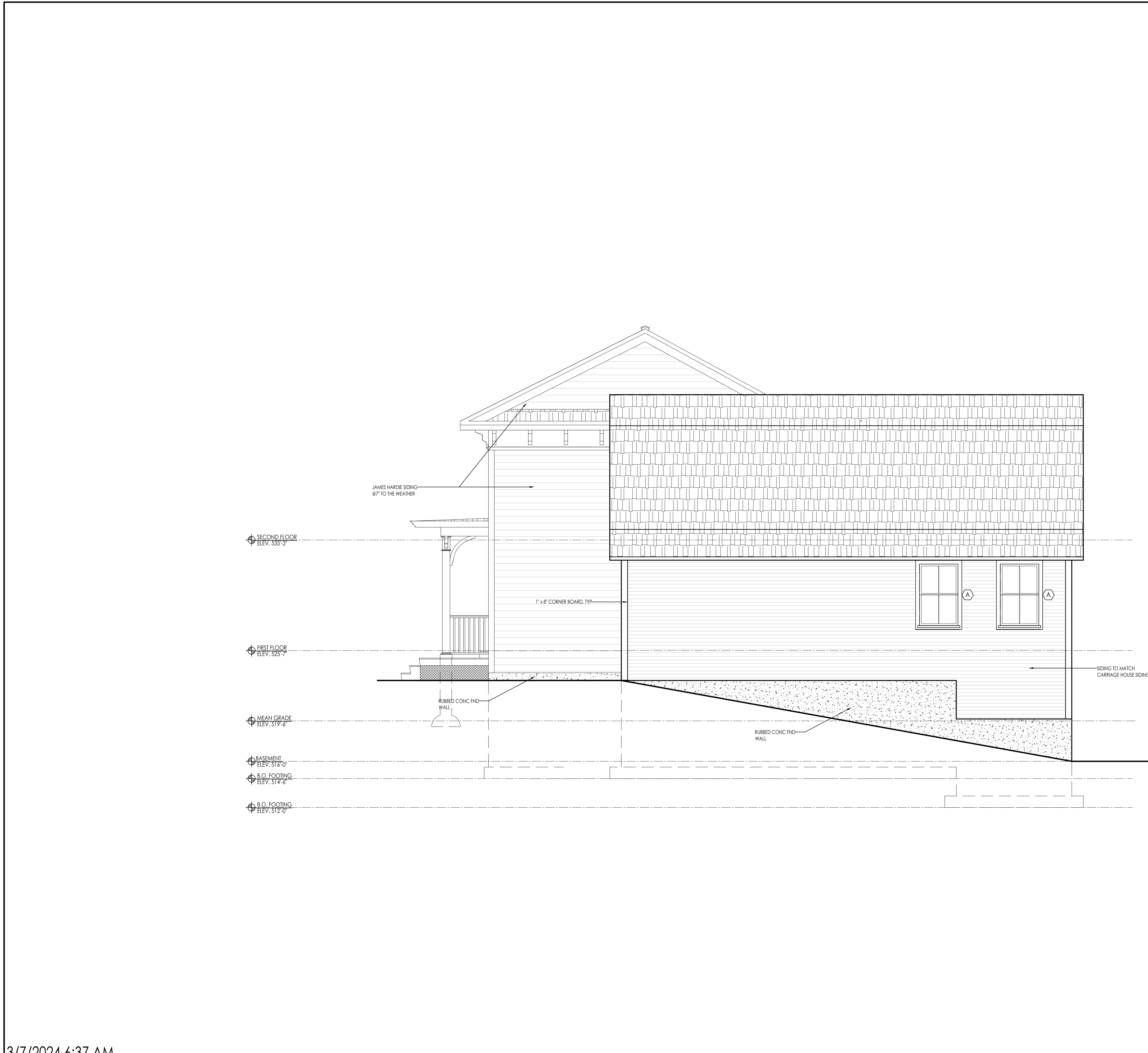
PROJECT TITLE:
 5-UNIT RESIDENTIAL HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 ROOF PLAN

ROOF PLAN 1
 SCALE: 1/4" = 1'-0" 3.1.3

SHEET NUMBER:

A-1.3



LIST OF MATERIALS

ROOFING MATERIALS:
SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN

SIDING MATERIALS:
SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE

GUARDS & HANDRAILS:
HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FENESTRATION:
WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL

SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY
CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
DECORATING - TREX TRANSCEND LINEAGE - JASPER
FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
FRAMEWORK - 48" VERANDA WHITE GARDEN WYLY LATTICE
COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
300 MAIN STREET, SUITE 200, WORCESTER, MA 01609
(508) 755-0333 (F) 508-752-8348
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
SIDE ELEVATION

SHEET NUMBER:

SIDE ELEVATION
SCALE: 1/4" = 1'-0" 1
A-2.0

A-2.0

LIST OF MATERIALS

ROOFING MATERIALS:
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN

SIDING MATERIALS:
 SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE

GUARDS & HANDRAILS:
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FENESTRATION:
 WINDOWS - ANDERSEN A SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL

SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48' - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY

CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH

DECKING - TREX TRANSCEND LINEAGE - JASPER

FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FRAMEWORK - 48" VERANDA WHITE GARDEN WYNY LATTICE

COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED

BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2







MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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1	GARAGE DOORS & ENTRY - 12.28.23
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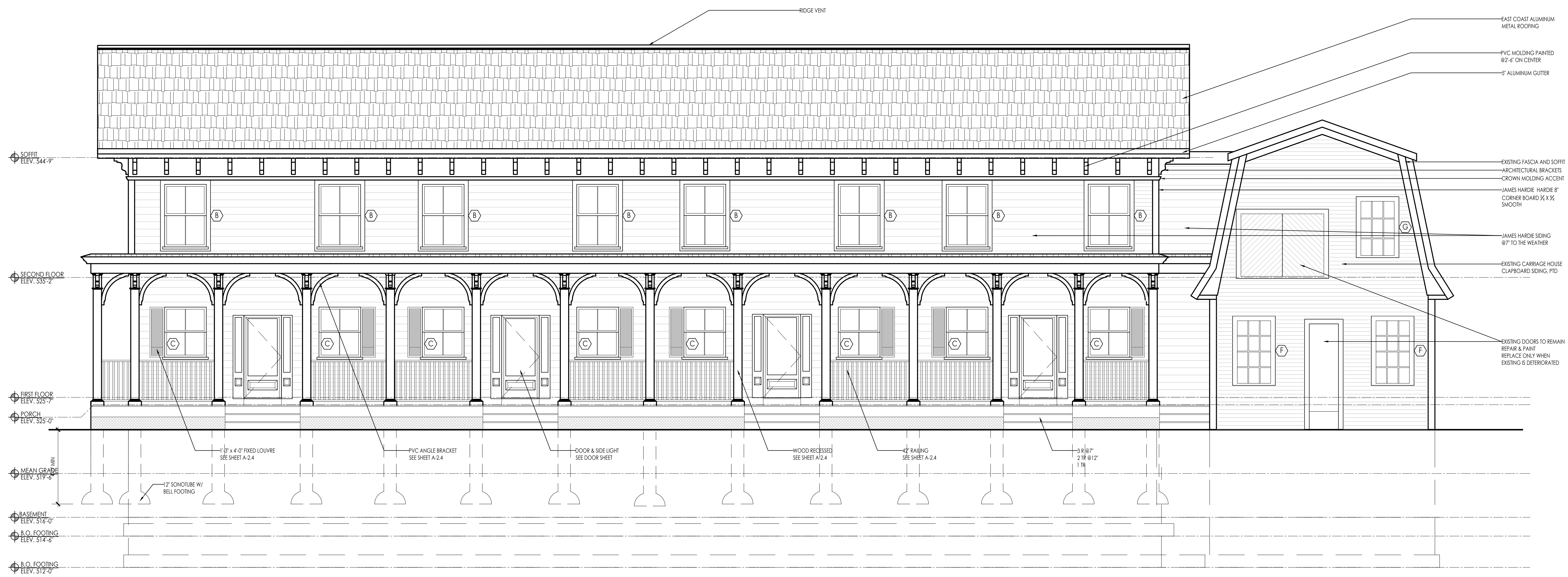
DATE: 12.28.2023
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 QUINCY STREET ELEVATION

SHEET NUMBER:

A-2.1



QUINCY STREET ELEVATION
 SCALE: 1/4" = 1'-0" (A-2.1)

114 AUSTIN STREET
 HISTORIC DISTRICT
 01508-7550333
 3/7/2024 6:37 AM

- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:**
 SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE
- GUARDS & HANDRAILS:**
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:**
 WINDOWS - ANDERSEN A SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY**
CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
DECKING - TREX TRANSCEND LINEAGE - JASPER
FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
FRAMEWORK - 48" VERANDA WHITE GARDEN WYLY LATTICE
COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:



	SCHEMATIC	07.20.2023
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 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 AUSTIN STREET ELEVATION

AUSTIN STREET ELEVATION
 SCALE: 1/4" = 1'-0" 1
A-2.2

SHEET NUMBER:
A-2.2

- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:**
 SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE
- GUARDS & HANDRAILS:**
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:**
 WINDOWS - ANDERSEN A SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 903 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48' - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY**
- CORNER MOLDING - JAMES HARDIE HARDIETRM 1/2" TRIM - SMOOTH**
- DECKING - TREX TRANSCEND LINEAGE - JASPER**
- FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS**
- FRAMEWORK - 48 VERANDA WHITE GARDEN WYLL LATTICE**
- COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED**
- BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2**
- MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901**

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE: 12.28.2023
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

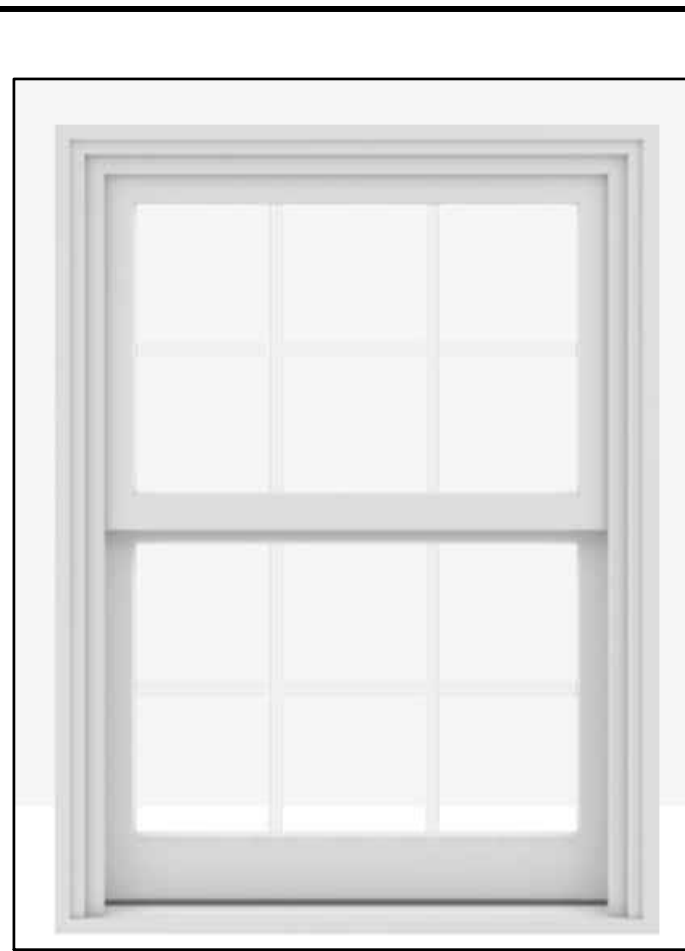
SHEET TITLE:
 REAR ELEVATION

SHEET NUMBER:

A-2.3



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

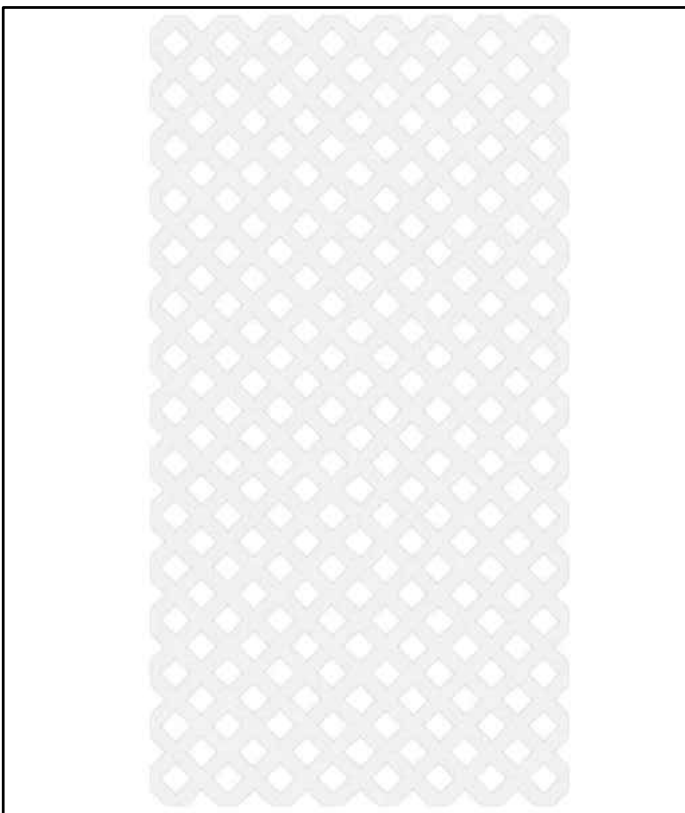


ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
SEE WINDOW SCHEDULE

ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
DOOR = 3'-0" x 6'-8" WITH (2) 3/4" SIDELIGHTS

MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15"X48" - SPANISH CEDAR,
FRONT DOOR WINDOWS, PAINT GRADE, FACTORY PRIMED LIGHT GRAY

JAMES HARDIE 8" WIDE HARDIETRIM 3/4" TRIM - SMOOTH



4x8 VERANDA WHITE GARDEN VINYL LATTICE

EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
5' x 12' EXPOSURE

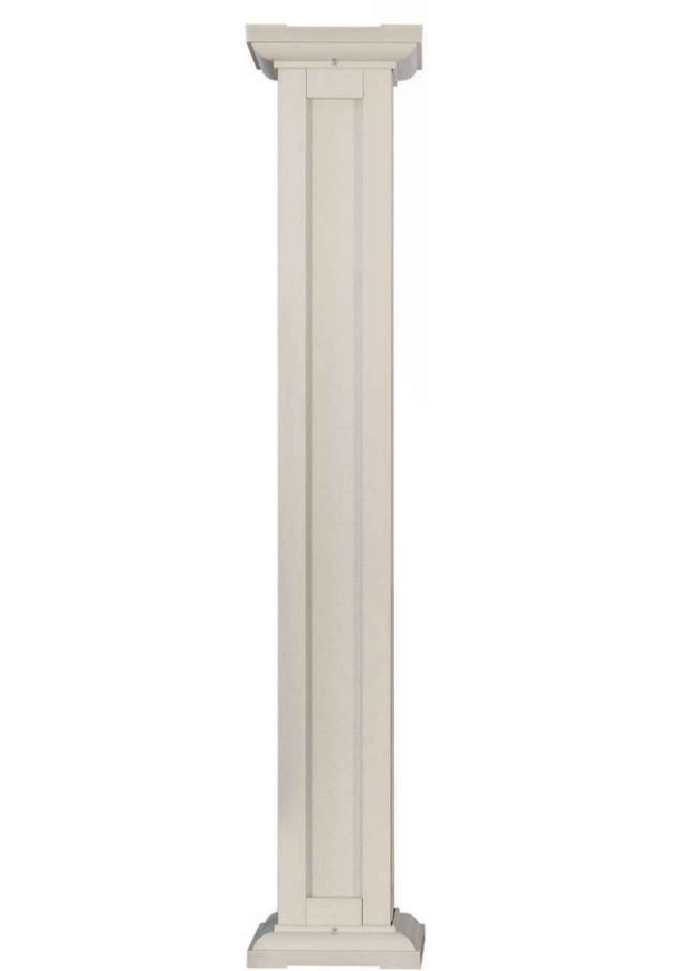
OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12
WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL



JAMES HARDIE 7" PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION -
COBBLE STONE, TO WEATHER

VERANDA 42" TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL
BALLUSTERS

TREX TRANSCEND LINEAGE - JASPER, 6" x 3/4" BOARDS, PORCH DECK



BROSCOSCO DSI ALUMINUM COLUMN - RECESSED, PAINTED
3/7/2024 6:38 AM

BROSCOSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2, PAINTED

BROSCOSCO INTEX MILLED & PRIMED PVC MOULDING - 7901, PAINTED

LIST OF MATERIALS

- ROOFING MATERIALS:
SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:
SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE
- GUARDS & HANDRAILS:
HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALLUSTERS
- FENESTRATION:
WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15"X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY
- CORNER MOLDING - JAMES HARDIE HARDIETRIM 3/4" TRIM - SMOOTH
- DECKING - TREX TRANSCEND LINEAGE - JASPER
- FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALLUSTERS
- FRAMEWORK - 4x8 VERANDA WHITE GARDEN VINYL LATTICE
- COLUMN - BROSCOSCO DSI ALUMINUM COLUMN - RECESSED
- BRACKET - BROSCOSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
- MOLDING - BROSCOSCO INTEX MILLED & PRIMED PVC MOULDING - 7901

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 200, WILMINGTON, MA 01890
 (508) 752-5333 (C) 1988-2023
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

4	
3	
2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
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DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
PROPOSED MATERIALS PHOTOS

SHEET NUMBER:
A-2.4

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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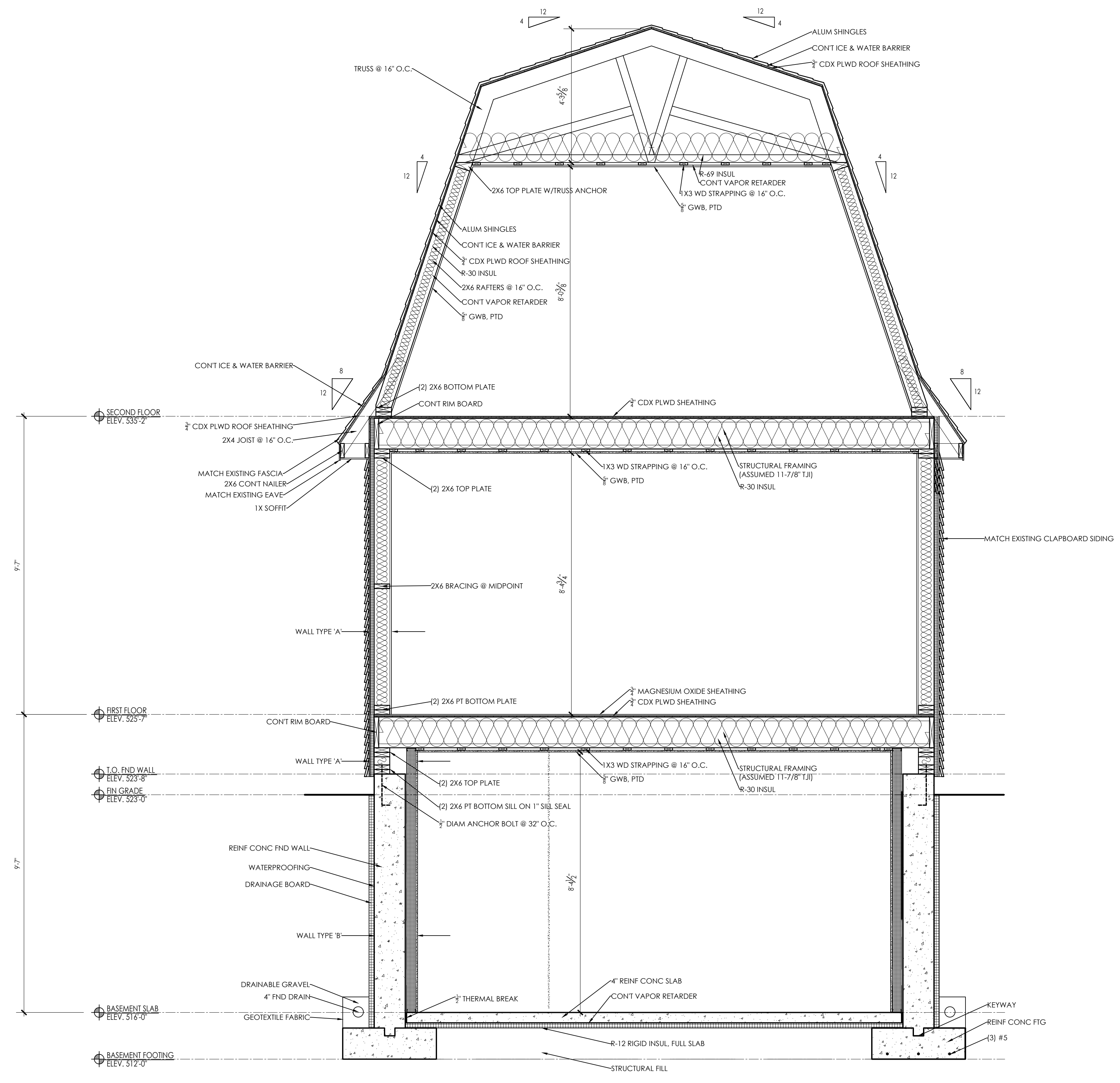
DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 CARRIAGE HOUSE SECTION

SHEET NUMBER:

A-2.5



CARRIAGE HOUSE SECTION
 SCALE: 1/2" = 1'-0"

ARCHITECT'S STAMP:

ENGINEER'S STAMP:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

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	REVISION DATE

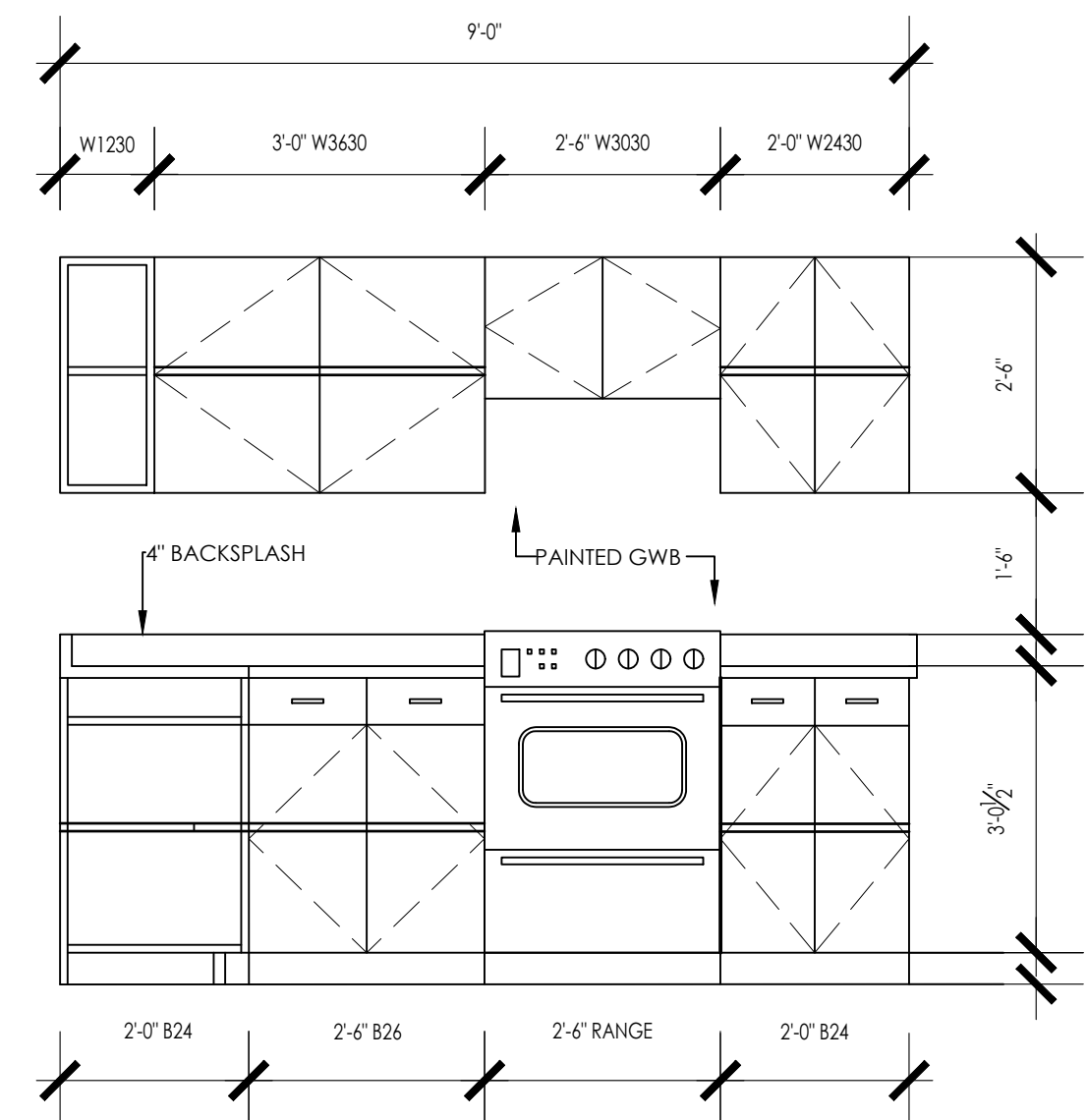
DATE:	12.28.2023
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PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

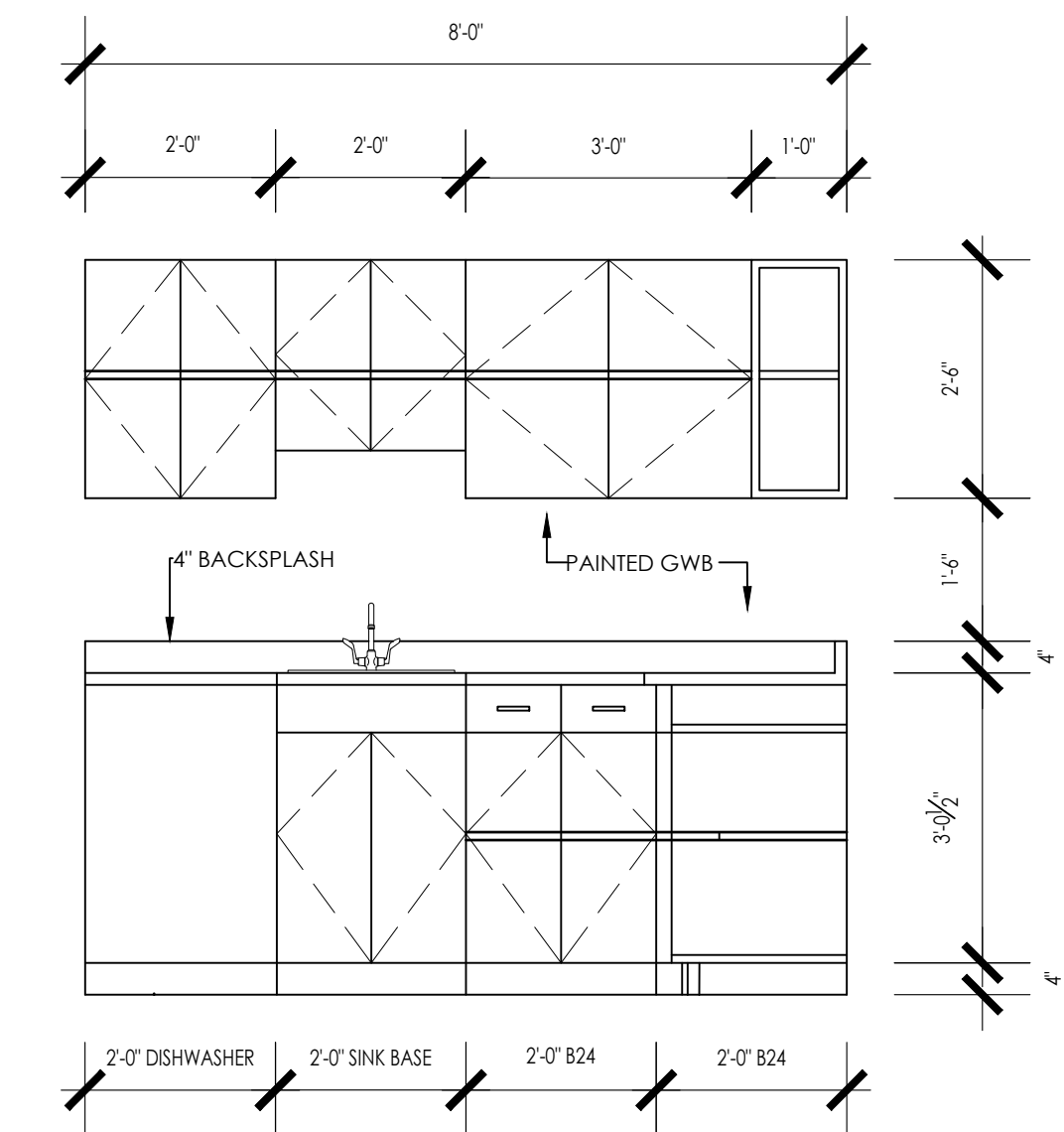
SHEET TITLE:
 KITCHEN AND BATHROOM
 INTERIOR ELEVATIONS

SHEET NUMBER:

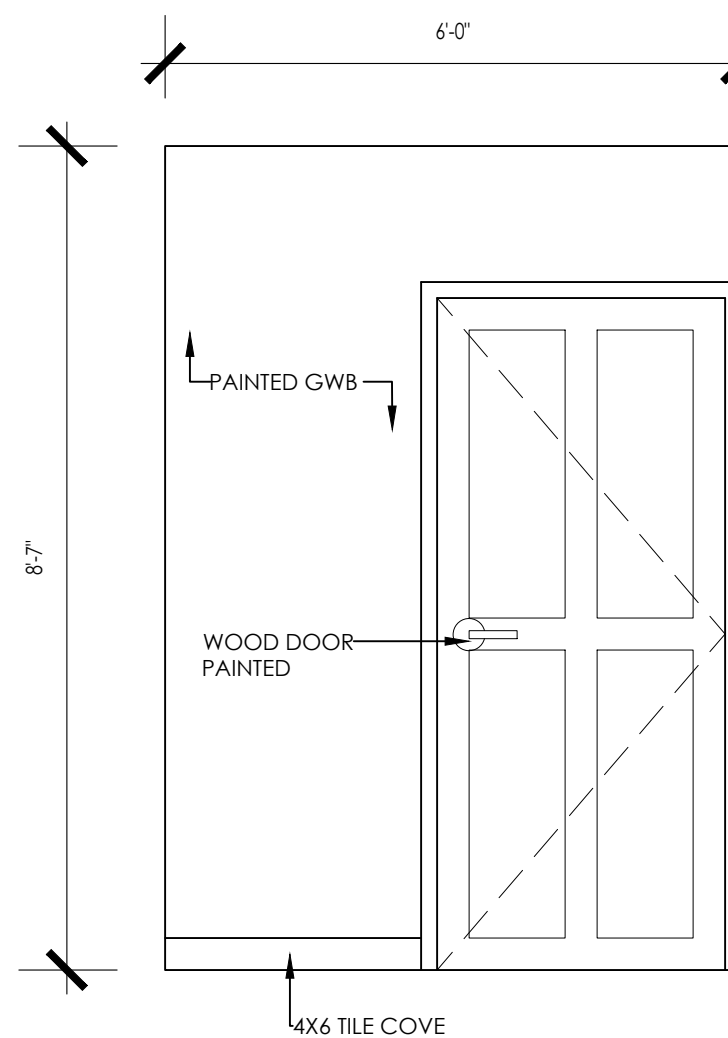
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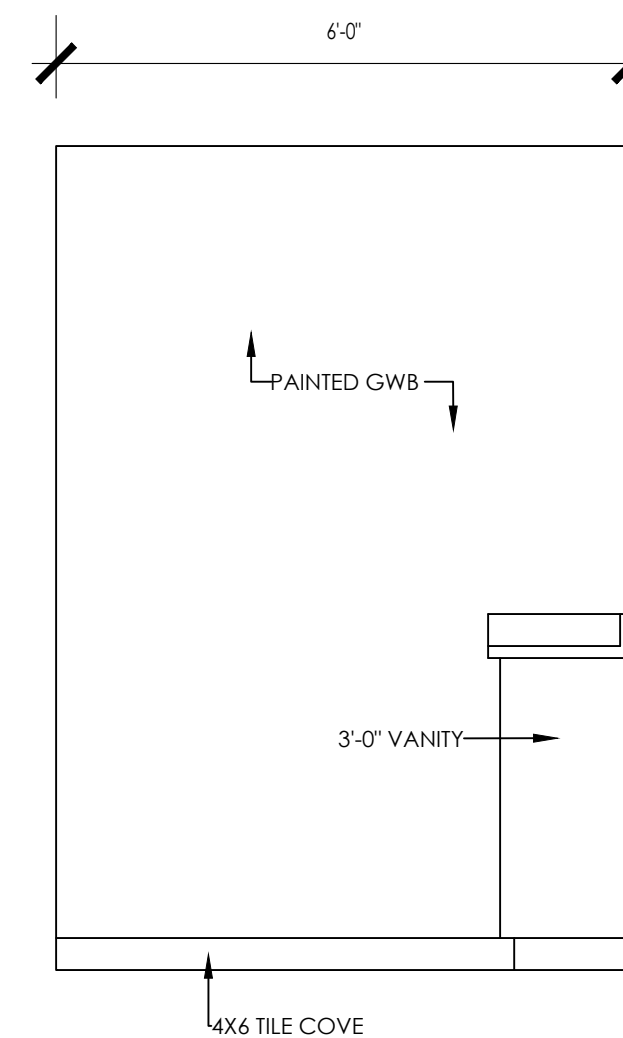
KITCHEN ELEVATION 'A'



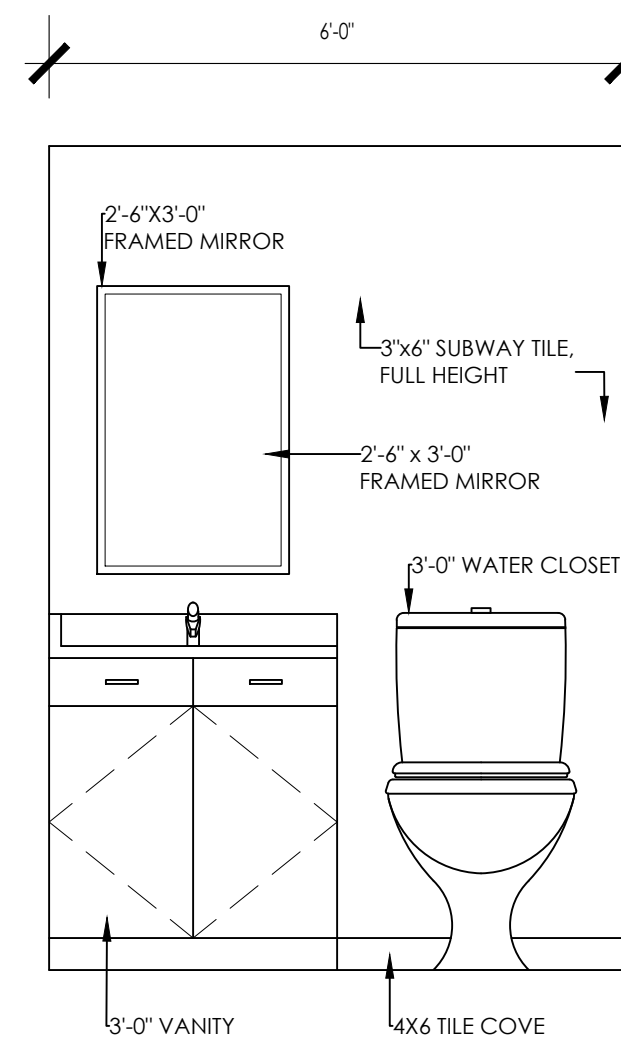
KITCHEN ELEVATION 'B'



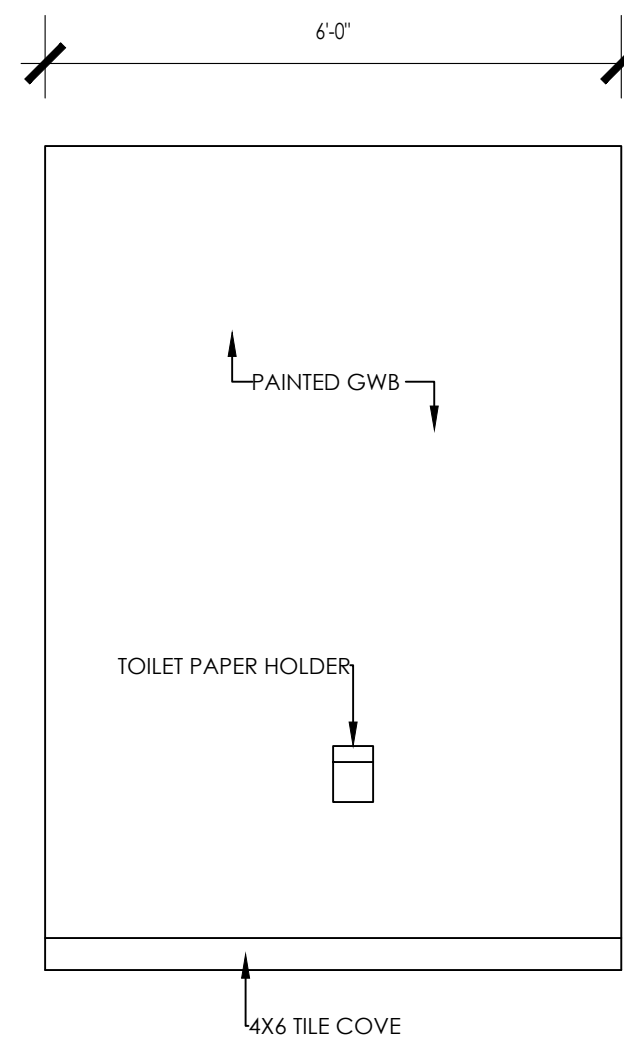
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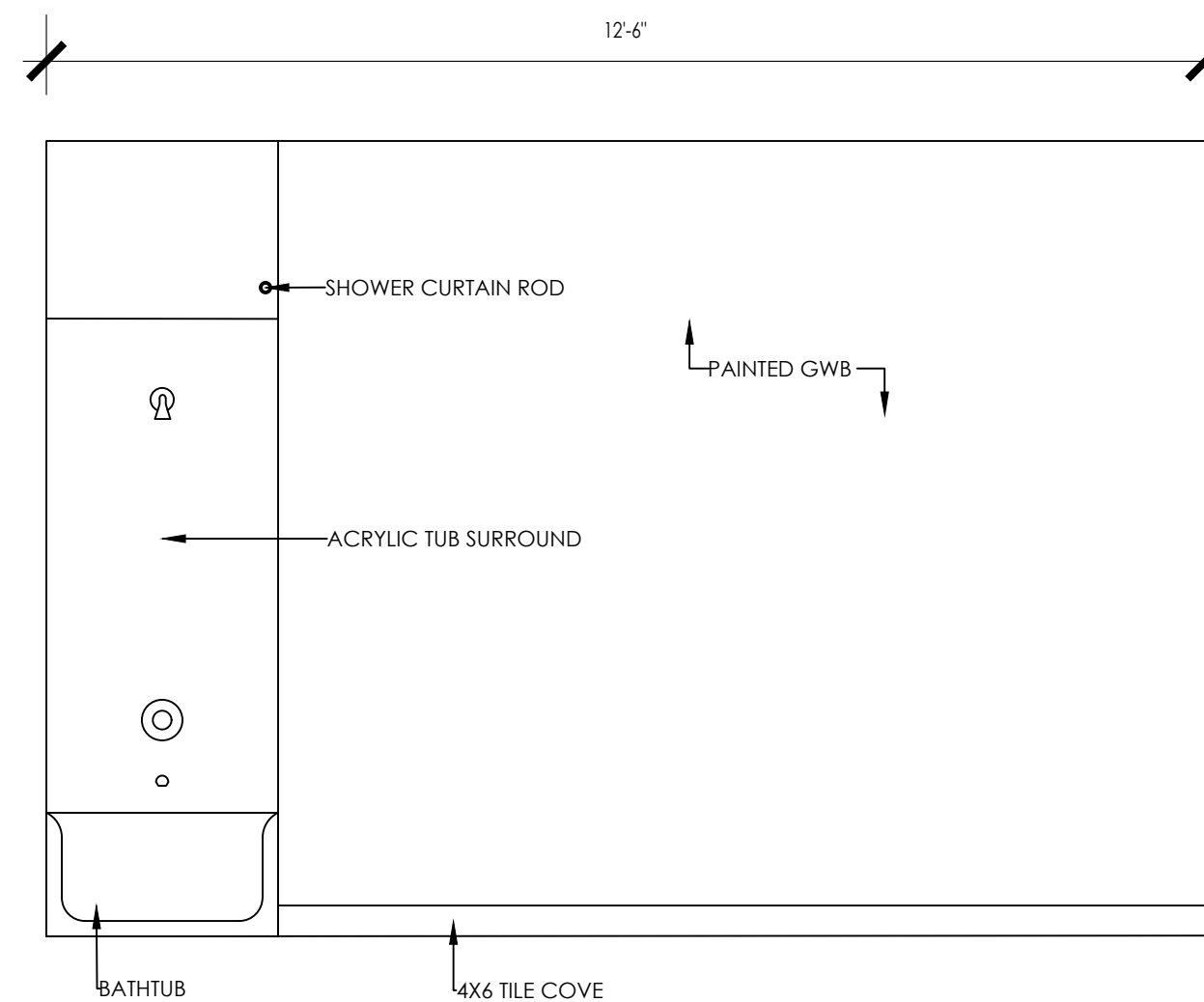
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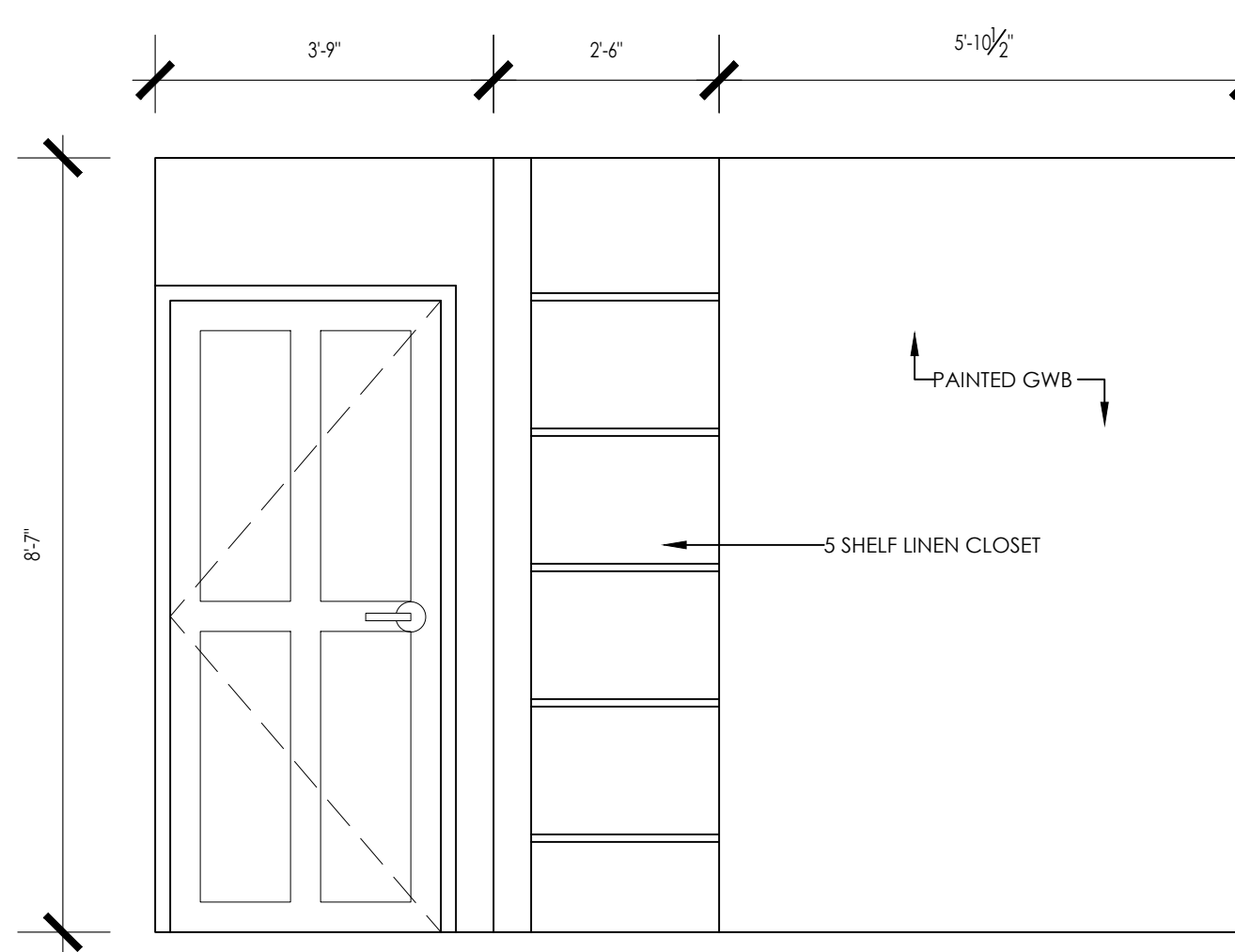
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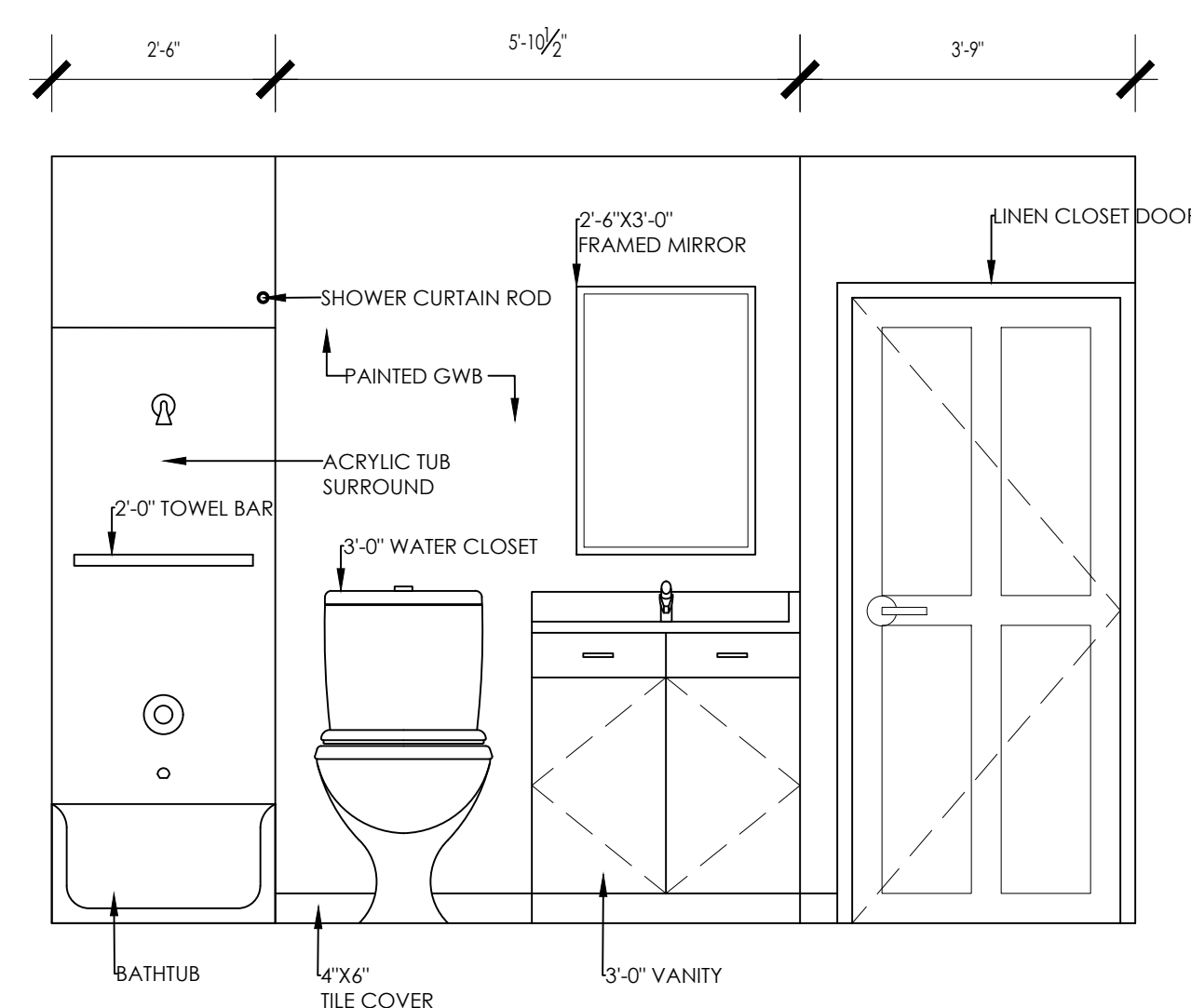
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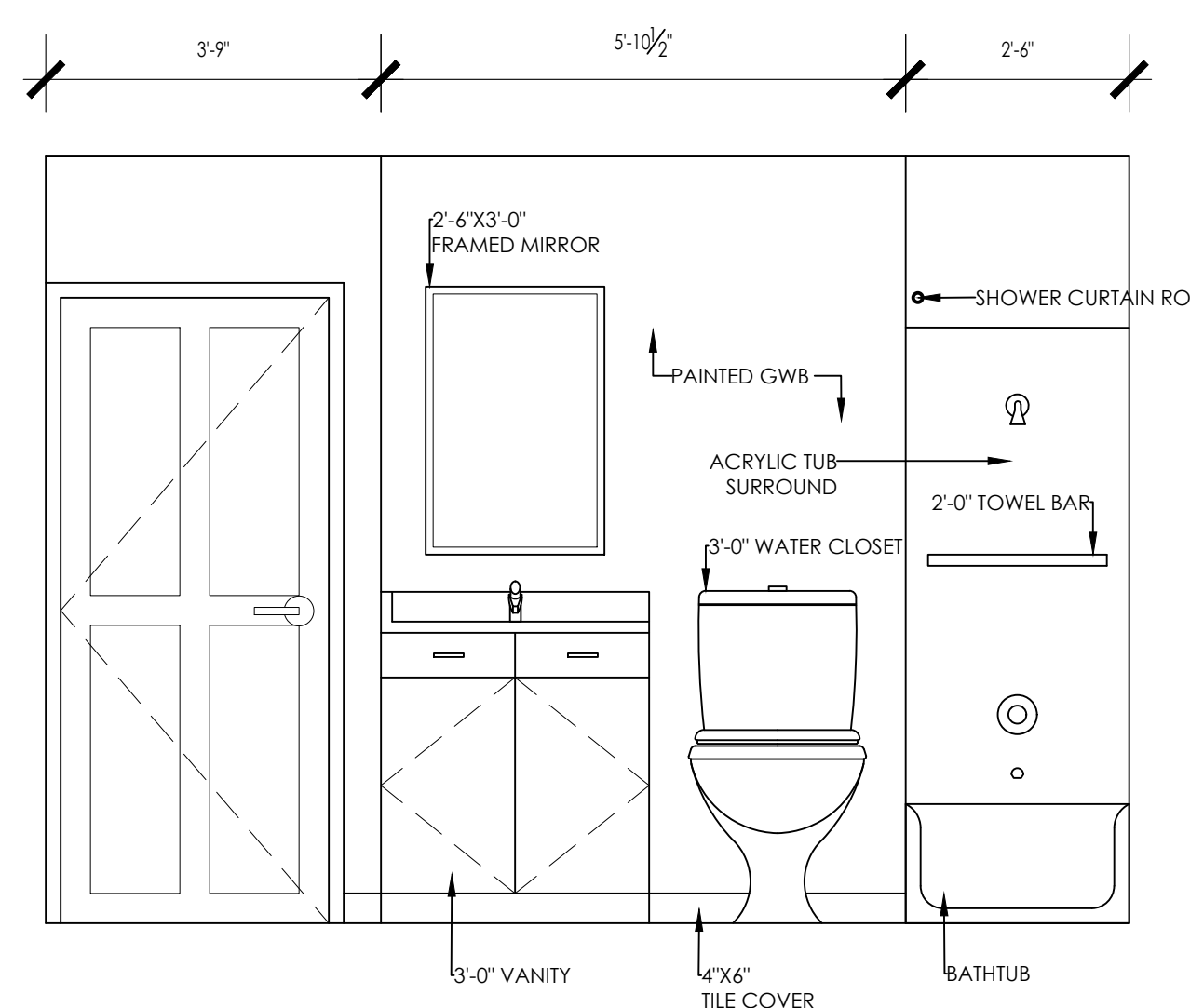
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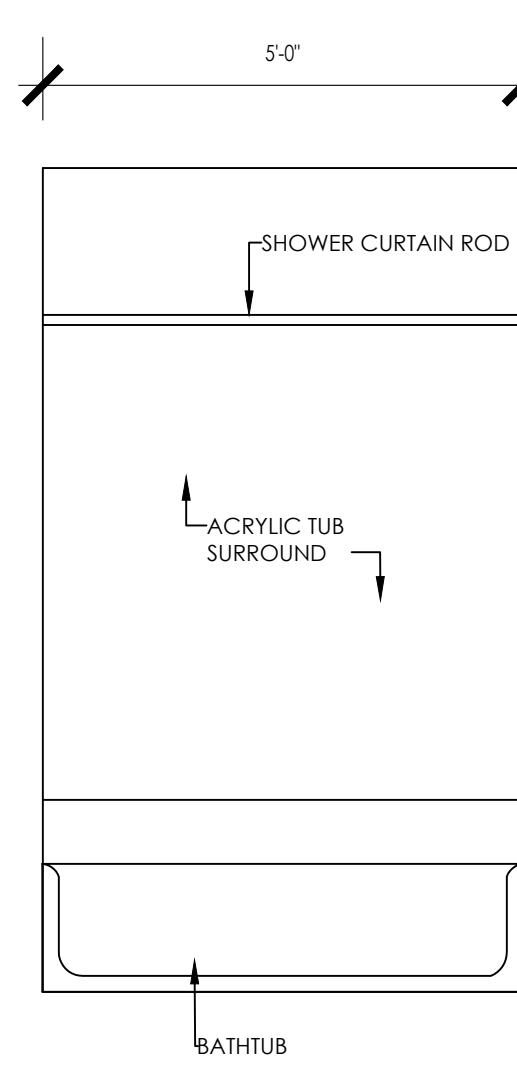
ELEVATION 'F'



ELEVATION 'G'



ELEVATION 'G'

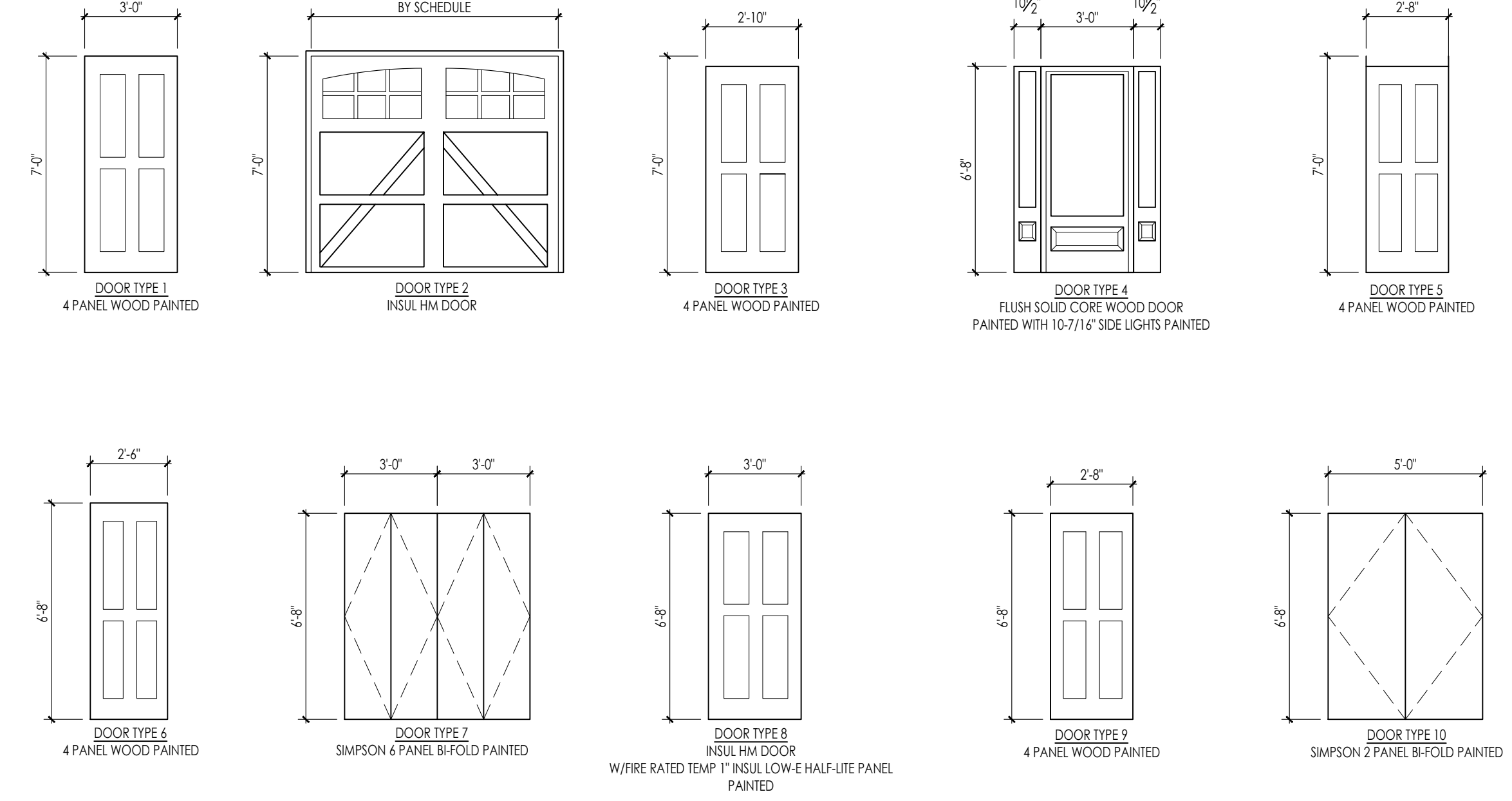


ELEVATION 'H'

DOOR SCHEDULE

DOOR NUMBER	DOOR				FRAME			HARDWARE														LOCATION	REMARKS			
	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	LABEL	SIZE	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	DETAILS	CONT HINGES	HINGES	LATCH SET	LOCKSET	LOCK	THRESHOLD	CLOSER	TIME-OUT MAGNETIC LOCK	FLUSH / PULL	WEARSTRIPPING & SWEEP	KICK PLATE (AMP RESISTANT)	PANIC HARDWARE			MAGNETIC HOLD-OPEN	OFFSET HINGES (180° OPEN)	ELEC STRIKE

BASEMENT																													
001	1	WD	-	-	3'-0"	7'-0"	-	F1	WD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
002	2	WD	PTD	-	8'-0"	7'-0"	-	F2	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
003	3	WD	PTD	-	2'-10"	6'-8"	1-3/8"	F3	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
004	4	WD	PTD	-	3'-0"	6'-8"	1-3/4"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
005	5	WD	PTD	C-LABEL	2'-8"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
006	6	WD	PTD	-	2'-6"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
007	7	WD	PTD	-	6'-0"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
008	8	WD	PTD	-	3'-0"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
009	9	WD	PTD	-	2'-6"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



DOOR ELEVATIONS 1/4" = 1'-0"

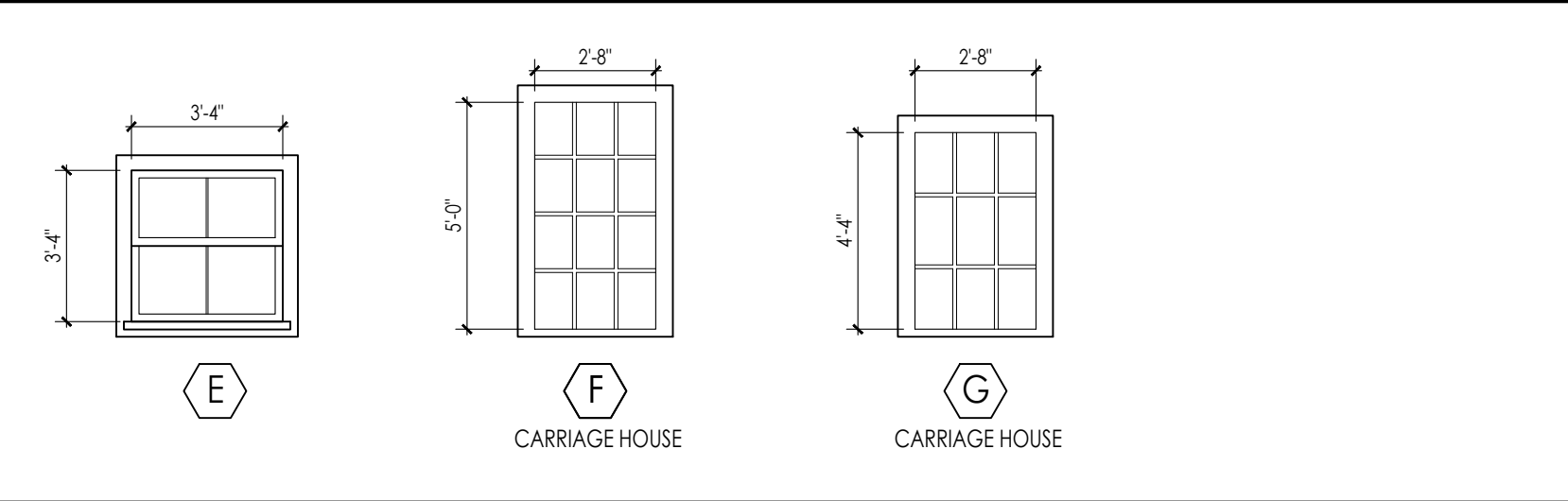
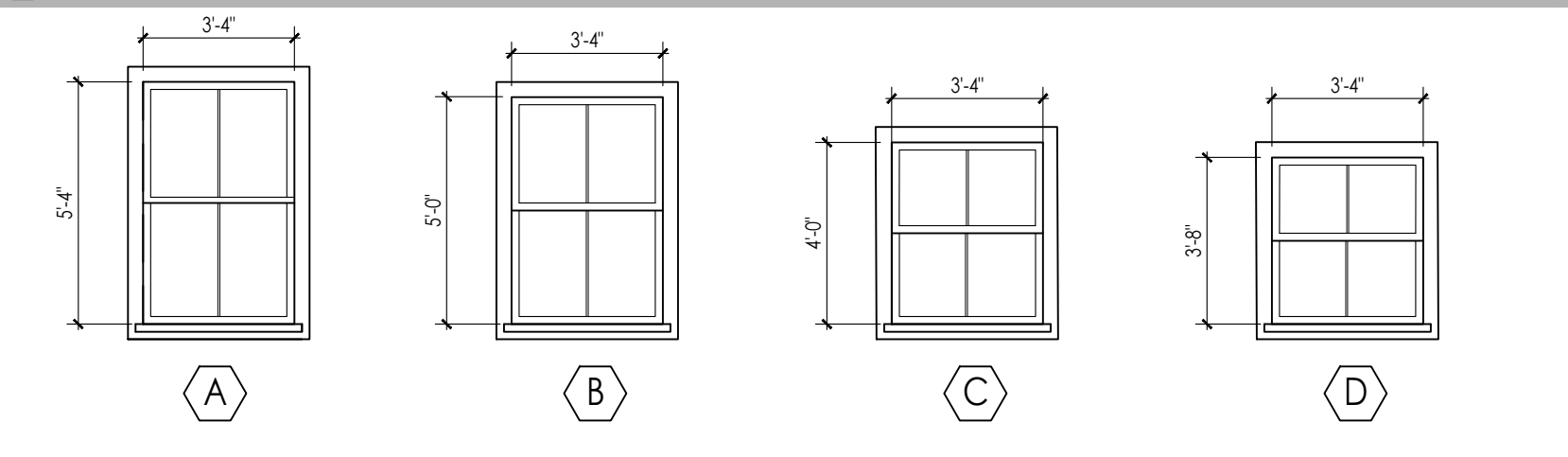
ROOM FINISH SCHEDULE

AREA	FLOOR	BASE	WALLS	CEILING	REMARKS
	LUXURY VINYL TILE	CARPET	12" x 12" CERAMIC TILE	SEALED CONCRETE	WOOD TREADS AND RISERS
	4" VINYL COVE	4" WOOD BASE	3" x 6" CERAMIC COVE	NONE	GWB PAINTED
	GWB PAINTED	GWB PAINTED & SANDED	WET WALL - FULL HEIGHT CERAMIC TILE. SUBWAY TILE	GWB PAINTED	GWB PAINTED & SANDED

GARAGE					
MECH/ELEC					
SPRINKLER					
BASEMENT STAIRS					
LIVING ROOM					
KITCHEN/DINING					
CORRIDORS					
HALF BATHROOM					
1ST-2ND FLOOR STAIRS					
BEDROOM 2					
BEDROOM 1					
BATHS					

WINDOW SCHEDULE

TYPE	MATERIAL	MANUFACTURER	MODEL NUMBER	ROUGH OPENING			REMARKS
				WIDTH	HEIGHT	HEAD RO. AFF	
A	COMPOSITE	ANDERSEN	ADH3454	3'-4"	5'-4"	6'-8" +/-	1/2 DH LIGHTS, EGRESS
B	COMPOSITE	ANDERSEN	ADH3450	3'-4"	5'-0"	6'-8" +/-	1/2 DH LIGHTS, EGRESS
C	COMPOSITE	ANDERSEN	ADH3440	3'-4"	4'-0"	6'-8" +/-	1/2 DH LIGHTS
D	COMPOSITE	ANDERSEN	ADH3438	3'-4"	3'-8"	6'-8" +/-	1/2 DH LIGHTS
E	COMPOSITE	ANDERSEN	ADH3434	3'-4"	3'-4"	6'-8" +/-	1/2 DH LIGHTS
F	COMPOSITE	ANDERSEN	MATCH EXIST	3'-4"	5'-4"	6'-8" +/-	1/2 DH LIGHTS
G	COMPOSITE	ANDERSEN	MATCH EXIST	3'-4"	4'-0"	6'-8" +/-	3 x 3 DIVIDED LIGHTS



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
DOOR AND WINDOW TYPES,
FINISH SCHEDULE

SHEET NUMBER:

A-8.0

HISTORIC LEVEL 3 ALTERATION: 114 AUSTIN STREET

PROJECT LOCATION
114 AUSTIN STREET
WORCESTER, MA 01609

CLIENT
POLAR VIEWS
89 WEST MAIN STREET, UNIT 101
NORTHBOROUGH, MA 01532
MR DANIEL YARNIE

CIVIL ENGINEER
J.M. GRENIER ASSOCIATES, INC.
118 TURNPIKE ROAD, SUITE 200
SOUTHBOROUGH, MA 01772
MR. JOHN GRENIER
JMGRENIER@TOWNISP.COM
(T) 508.845.2500

ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES & DETAILS
ARCHITECTURAL	
D-1.0	CONCEPTUAL DEMO PLAN
A-0.1	CONCEPTUAL FOUNDATION PLAN
A-1.1	BASE PLAN
A-1.2	FIRST FLOOR PLAN
A-1.3	SECOND FLOOR PLAN
A-1.4	ROOF PLAN
A-2.0	SIDE ELEVATION
A-2.1	QUINCY STREET ELEVATION
A-2.2	AUSTIN STREET ELEVATION
A-2.3	REAR ELEVATION
A-2.4	PROPOSED MATERIAL PHOTOS
A-2.5	CARRIAGE HOUSE SECTION
A-2.6	NEW BUILDING SECTION
A-4.0	KITCHEN AND BATHROOM INTERIOR ELEVATIONS
A-8.0	DOOR & WINDOW TYPES, FINISH SCHEDULE

NOTE:
PORTIONS OF THE PROJECT ARE TO BE DESIGN-BUILD UNDER THE GENERAL CONTRACTOR.
GENERAL CONTRACTOR TO PROVIDE ARCHITECT WITH STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION, FIRE ALARM AND PLUMBING DRAWINGS FOR REVIEW BEFORE SUBMISSION FOR PERMIT.



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

ABBREVIATIONS

ACOUSTICAL CEILING TILE	A.C.T	MANUFACTURED	MFD
ACOUSTIC	ACST	MARBLE	MAR
ABOVE FINISHED FLOOR	AF	MASONRY	MAS
ALUMINUM	ALUM	MASONRY OPENING	MSRY
ARCHITECT	ARCH	MATERIAL	MAT
AVERAGE	AVG	MASONRY	MW
BEAM	BM	MECHANICAL	MAX
BOARD	BD	METAL	ML
BRASS	BR	METER	M
BRONZE	BRZ	MIRIAM	MIR
BUILDING	BLDG	MISCELLANEOUS	MISC
BULLET IN	BLIN	MULLION	MULL
CABINET	CAB	NATURAL	NAT
CEILING	CLG	NOMINAL	NOM
CENTER LINE	CL	NOT IN CONTRACT	NIC
CENTIMETER	CM	NOT TO SCALE	NIS
CERAMIC	CER	NUMBER	N
CLEAR	CLR	ON CENTER	OC
COLD WATER	CW	OPENING	OPG
COLUMN	COL	OPPOSITE	OPP
CONCRETE	CONC	PAINTED	PID
CONCRETE MASONRY UNIT	CMU	PARTITION	PN
CONSTRUCTION	CONST	PLASTER	PL
CONTINUOUS	CONTR	PLASTIC LAMINATE	PLAM
CONTRACTOR	CONTR	PLYWOOD	PLYW
DEMOLITION	DEMO	PRESSURE TREATED	P.T.
DETAIL	DET	QUANTITY	QTY
DIAMETER	DIA OR	QUARRY TILE	QT
DIAMENSION	DM	RADIUS	R
DOOR	DR	REFERENCE	REF
DOWN	DN	REINFORCE	RENF
DRAWING	DWG	REMOVE	RMV
DRINKING FOUNTAIN	DF	REQUIRED	REQD
EACH	EA	REVISION	REV
ELECTRIC	ELEC	RIBB	RS
ELECTRIC WATER COOLER	EW	ROOM	RM
EQUAL	EQ	ROUGH OPENING	R.O.
EQUIPMENT	EQUIP	SCHEDULE	SCH
ESTIMATE	EST	SECTION	SECT
EXISTING	EXIST	SHEET	SH
EXTERIOR	EXT	SIMILAR	SIM
FABRICATE	FAB	SOLID CORE	SC
FEET	OR FT	SPECIFICATIONS	SPEC
FINISH	FIN	SQUARE FEET	SF
FINISHED ALL OVER	FAO	SQUARE INCHES	SQ IN.
FIREPROOF	FP	STAINLESS STEEL	SS
FLOOR	FLR	STANDARD	STD
FLORESCENT	FLUOR	STEEL	ST
FULL SIZE	FS	STRUCTURAL	STR
FURNISH	FURN	SUSPENDED	SUSP
GAUGE	GA	SYSTEM	SYS
GENERAL	GEN	TEMPERATURE	TEMP
GLASS	GL	TEMPERATURE	T&G
GYPSON BOARD	GYP BD	TREAD	TR
HARDWARE	HW	TYPICAL	TR
HARDWOOD	HWWD	UNFINISHED	UNF
HEIGHT	HT	URNAL	UR
HOLLOW CORE	HC	VENT THROUGH ROOF	VTR
HORIZONTAL	HOR	VERIFY IN THE FIELD	VFI
HOT WATER	HW	VERTICAL	VERT
INCH	" OR IN.	VENT TILE	VNT
INSULATION	INS	WARRANTY	WNTY
INTERIOR	INT	WATER CLOSET	WC
JUNCTION BOX	JBOX	WATERPROOF	WP
LAVATORY	LAV	WEIGHT	WT
LIGHT	LIC	WIDTH	W
LIGHTING	LIC	WITH	W
LINEAR	LN	WITHOUT	WO
LINOLEUM	LNO	WOOD	WD
MANUFACTURER	MFR	WROUGHT IRON	WI
GANVAZE	GAV	YARD	YD
GYPSON WALL BOARD	GWB		

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	
	EARTH - FILL	
	GRAVEL	
	SAND	
	CONCRETE	
	CONCRETE MASONRY	
	BRICK	
	BITUMINOUS CONCRETE	
	BATT INSULATION	
	RIGID INSULATION	
	WOOD - FRAMING	
	WOOD - FINISH	
	PLYWOOD - SMALL SCALE	
	ACOUSTICAL TILE	
	STEEL	
	ALUMINUM	

LOCUS MAP



3/7/2024 6:37 AM

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
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PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL DEMOLITION NOTES

A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANS110.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED [TYPICAL] ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- THE GENERAL CONTRACTOR SHALL NOT INTERFERE WITH NORMAL ACTIVITY IN OR ADJACENT TO THE BUILDING, AND IS SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO PREVENT EXCESSIVE DUST, AND NOISE, ACCESS AND EGRESS TO AND FROM THE EXISTING BUILDING AS WELL AS FIRE PROTECTION IS TO BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES).
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

B. CUTTING AND PATCHING

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS, REMOVE THESE MATERIALS TO A CLEARLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

C. M.E.P. DEMOLITION NOTES

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED, ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

D. CLEANING

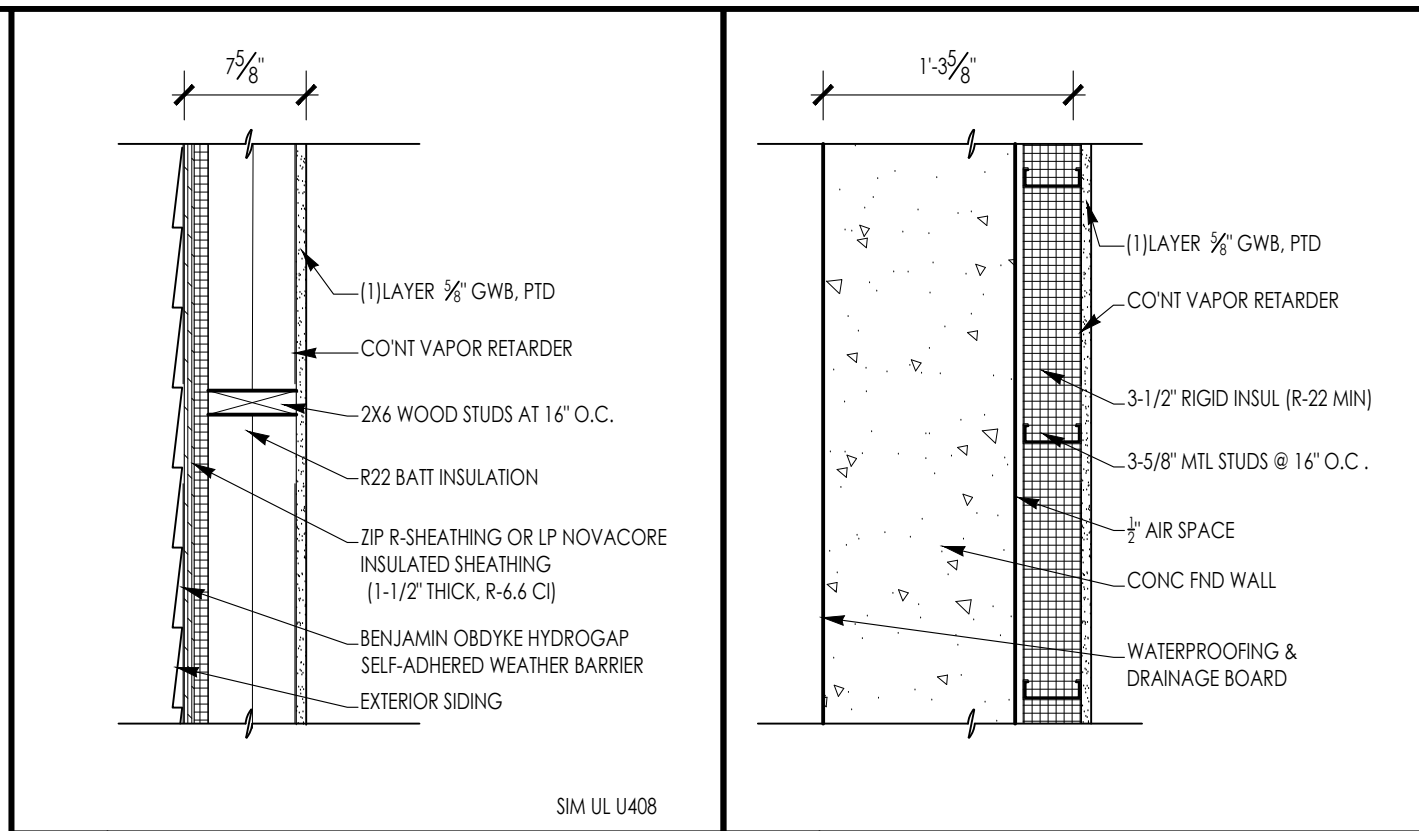
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS

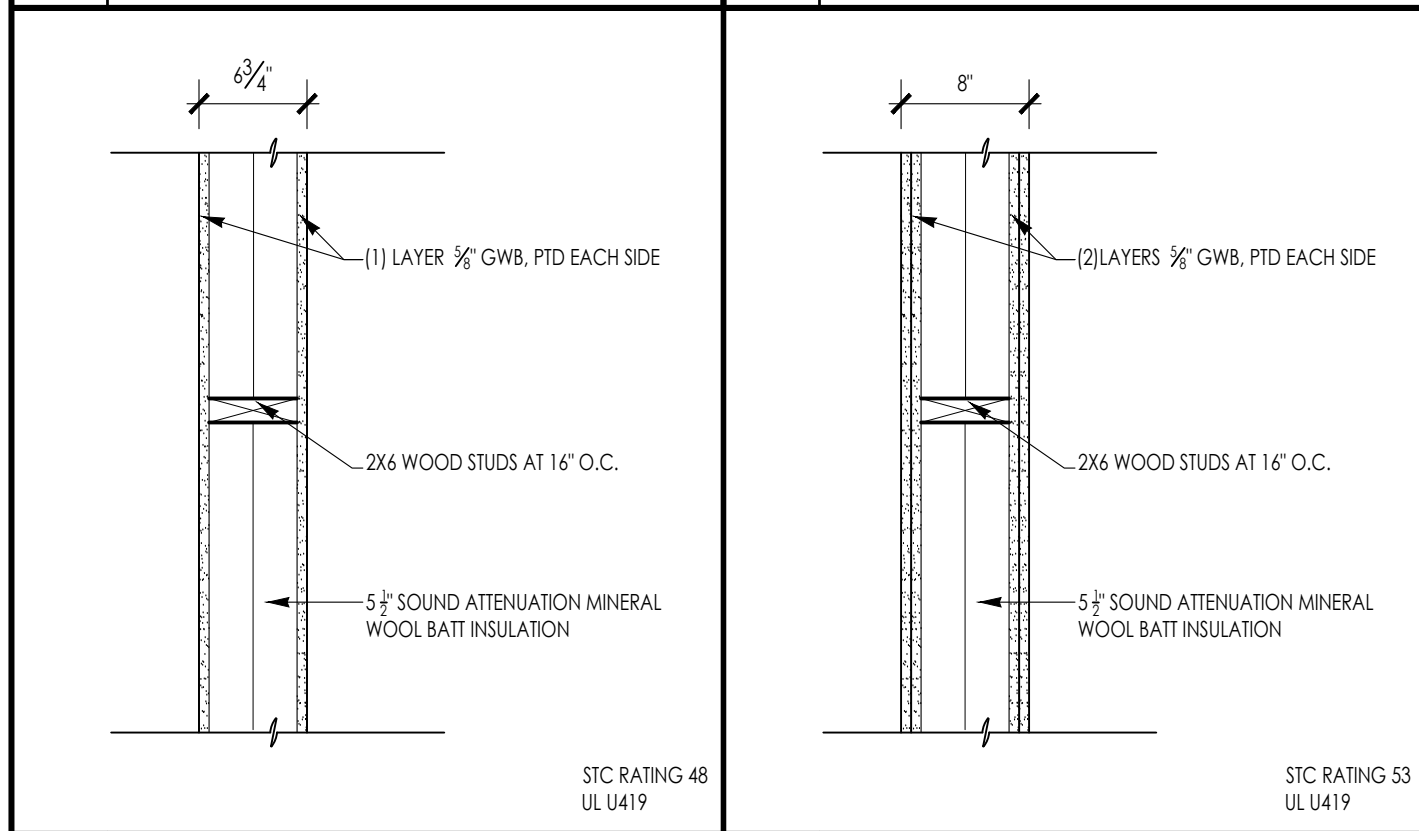
- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED. SMALLER PIPE HOLES, ETC., TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

GENERAL CONSTRUCTION NOTES

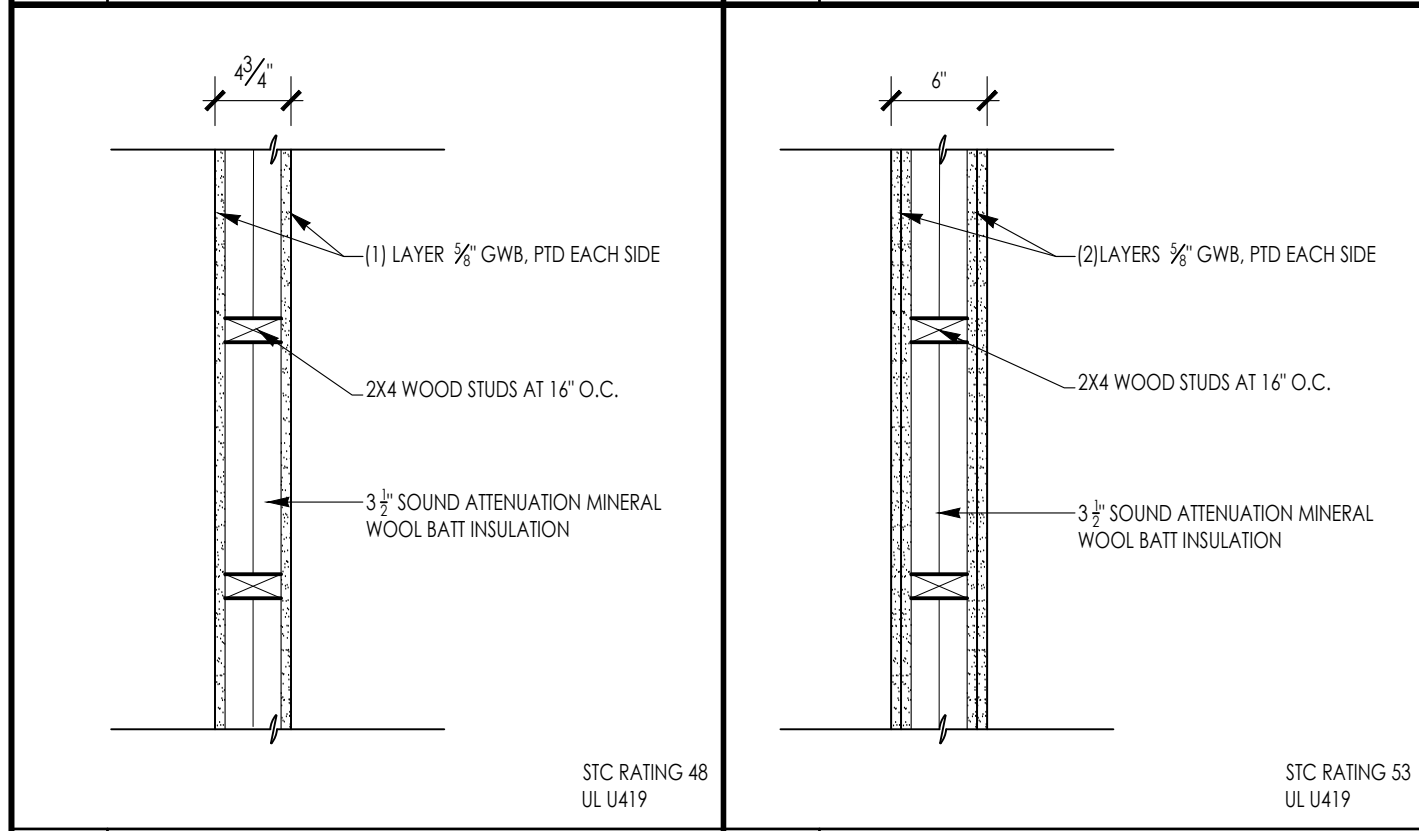
- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), MASS STATE BUILDING CODE, THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION:** THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO FACE OF PARTITION AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



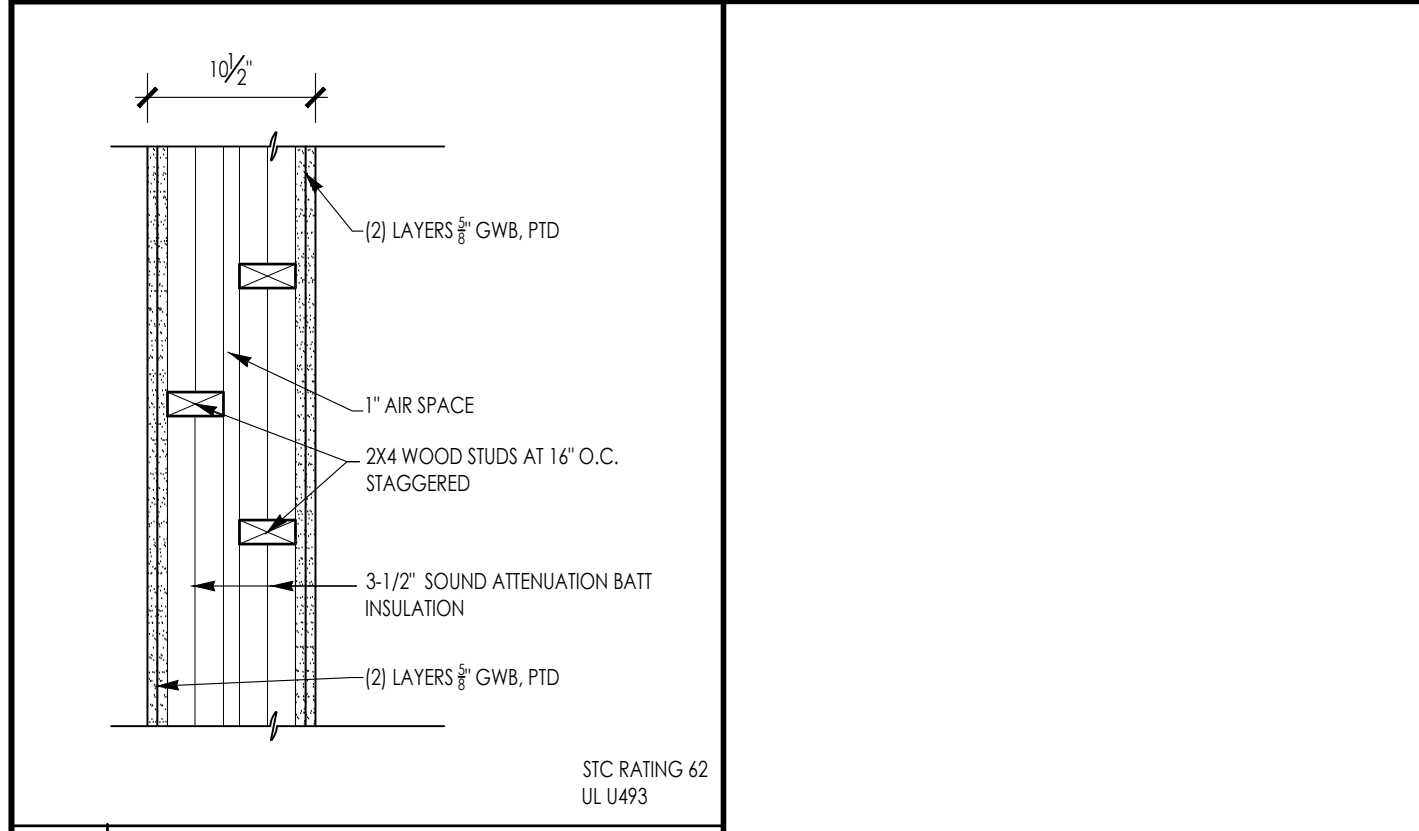
A EXTERIOR WALL ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"
B EXTERIOR WALL ASSEMBLY @ FOUNDATION WALL SCALE: 1" = 1'-0"



C1 INTERIOR WALL ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"
C2 INTERIOR WALL ASSEMBLY - 2 HOUR RATED SCALE: 1" = 1'-0"



D1 INTERIOR WALL ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"
D2 INTERIOR WALL ASSEMBLY - 2 HOUR RATED SCALE: 1" = 1'-0"



E TENANT SEPARATE ASSEMBLY - 1 HOUR RATED SCALE: 1" = 1'-0"

2021 BUILDING ENVELOPE REQUIREMENTS WITH 225 CMR, CHAPTER 22.00:
 CLIMATE ZONE 5
 GROUP R BUILDING
 WSP = 0.59
 MAXIMUM HEBS RATING = 52
 (1) SOA CIRCUIT PER DWELLING UNIT FOR AC LEVEL II CHARGER
 ROOF TO BE SOLAR READY

ASHRAE 90.1 & STRETCH CODE = +15% BETTER INSULATION

FENESTRATION	U-FACTOR	U-0.26, SHGC=0.40
SKYLIGHT	U-FACTOR	U-0.47
CEILING	R-49	U-0.021
WOOD-FRAMED WALL	R-34.5	U-0.029
	OR R-23 + R-4 CI	
MASS WALL	R-20	U-0.071
FLOOR	R-34.5	U-0.028
BASEMENT WALL	R-22	U-0.043
	OR R-15+R-4 CI	
SLAB	R-12CI FOR 4'-0"	

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 200, WORCESTER, MA 01609
 (508) 752-5333 (F) 508-752-5348
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/> SCHEMATIC	07.20.2023
<input type="checkbox"/> DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/> BID	N/A
<input type="checkbox"/> PERMIT	12.28.2023
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> EXISTING CONDITIONS	

4	
3	
2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 GENERAL NOTES & DETAILS

SHEET NUMBER:
T-1.1

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
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	BID	N/A
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	CONSTRUCTION	
	EXISTING CONDITIONS	

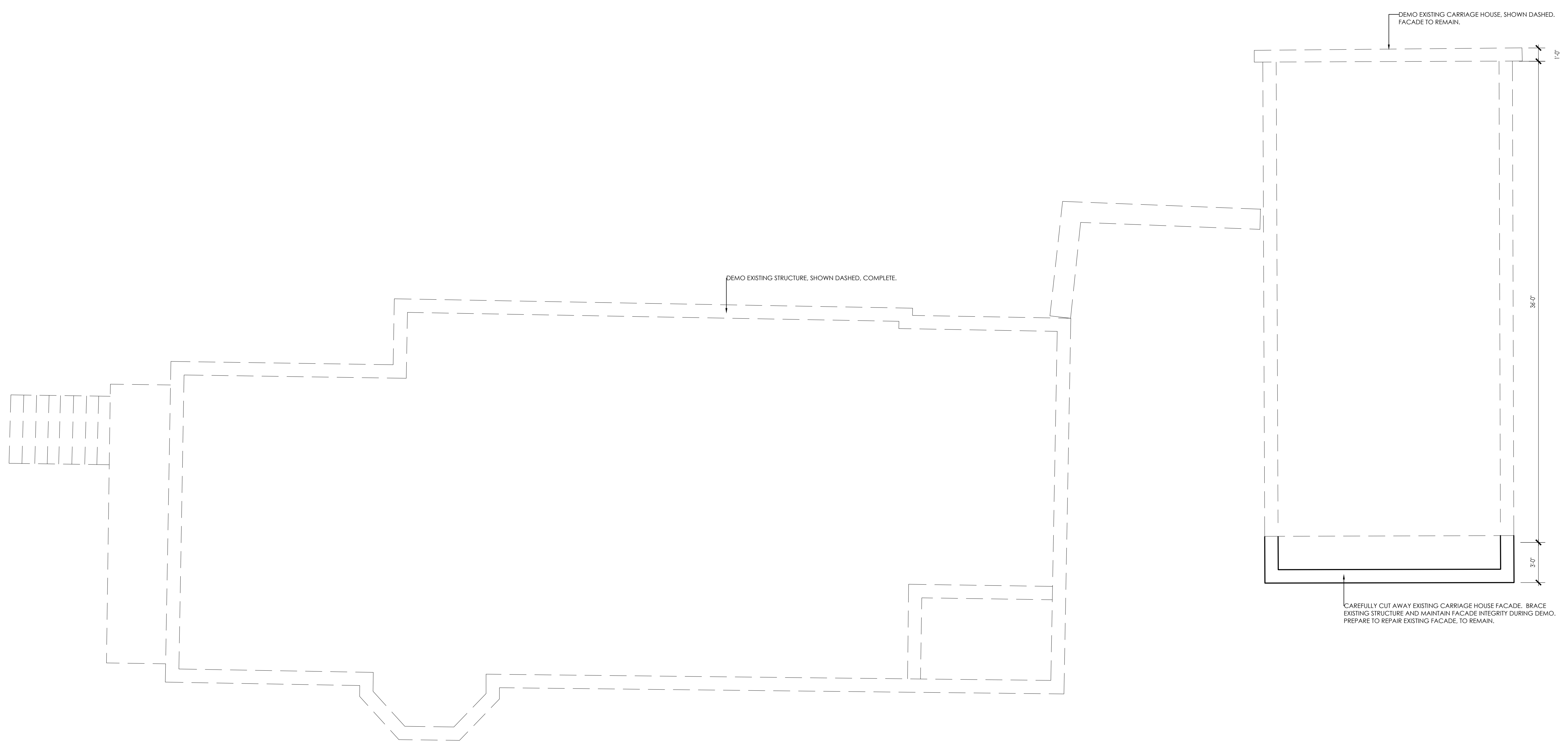
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 114 AUSTIN ST
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SHEET TITLE:
 CONCEPTUAL DEMO PLAN

SHEET NUMBER:
D-1.0



DEMO EXISTING STRUCTURE, SHOWN DASHED, COMPLETE.

DEMO EXISTING CARRIAGE HOUSE, SHOWN DASHED, FACADE TO REMAIN.

CAREFULLY CUT AWAY EXISTING CARRIAGE HOUSE FACADE. BRACE EXISTING STRUCTURE AND MAINTAIN FACADE INTEGRITY DURING DEMO. PREPARE TO REPAIR EXISTING FACADE, TO REMAIN.

DEMOLITION NOTES 10.16.23

- REFER TO SHEET 1.1 FOR ADDITIONAL DEMOLITION NOTES
- DEMOLISH AND REMOVE FROM SITE THE EXISTING 3 STORY BUILDING (BASEMENT, FIRST FLOOR, SECOND FLOOR INCLUDING FOUNDATION WALLS AND FOOTINGS)
- DEMOLISH AND REMOVE FROM SITE THE EXISTING CARRIAGE HOUSE STRUCTURE WITH THE EXCEPTION OF THE FRONT 3' OF THE BUILDING FACING QUINCY STREET WHICH SHALL REMAIN AND BE REPAIRED AND PAINTED.
- REMOVE EXISTING CONCRETE RETAINING WALL BETWEEN MAIN STRUCTURE AND CARRIAGE HOUSE.
- DEMOLISH AND REMOVE FROM SITE ALL EXISTING BITUMINOUS AND CONCRETE PAVEMENT AND PREP FOR NEW.

CONCEPTUAL DEMO PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

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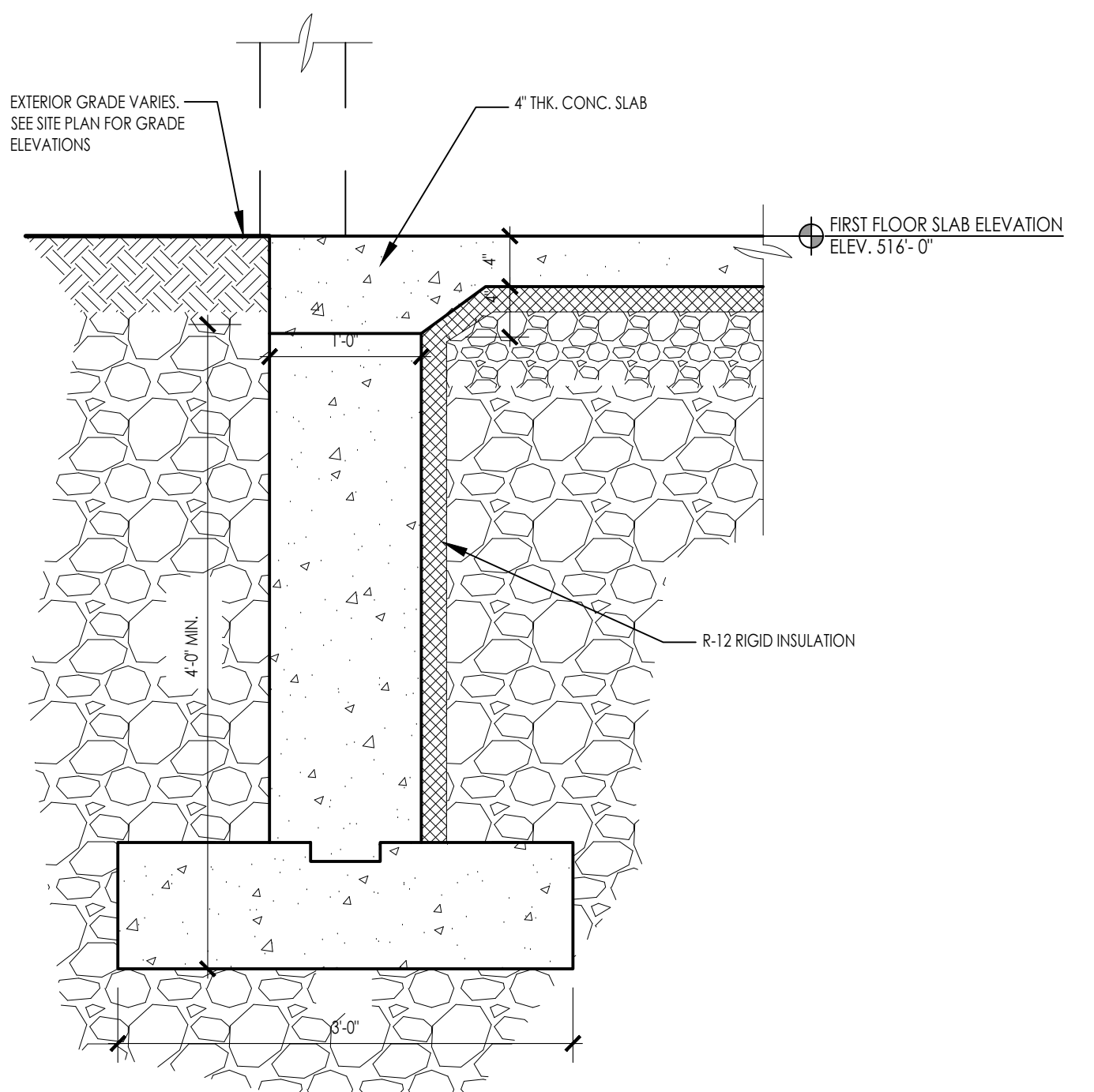
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 DRAWN: PL
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 WORCESTER, MA 01609

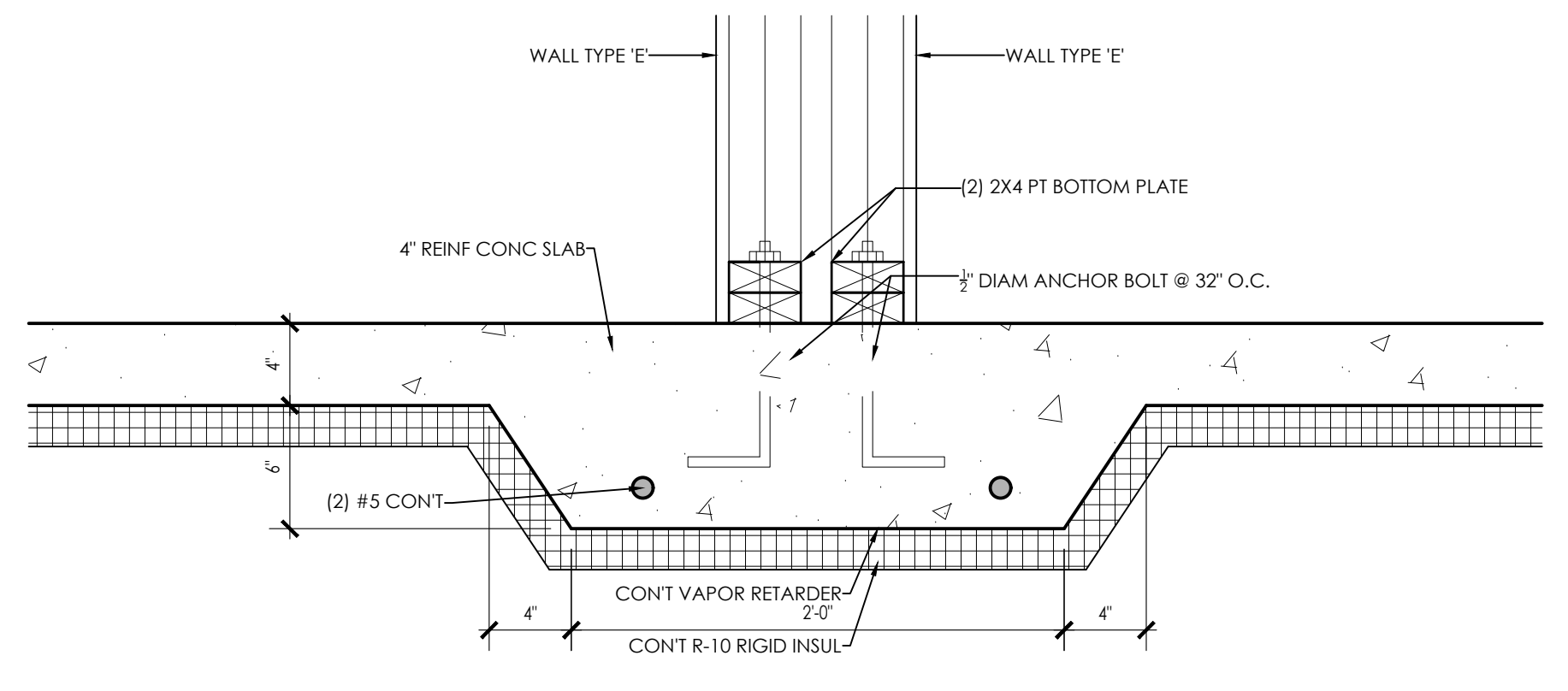
SHEET TITLE:
 CONCEPTUAL FOUNDATION PLAN

SHEET NUMBER:

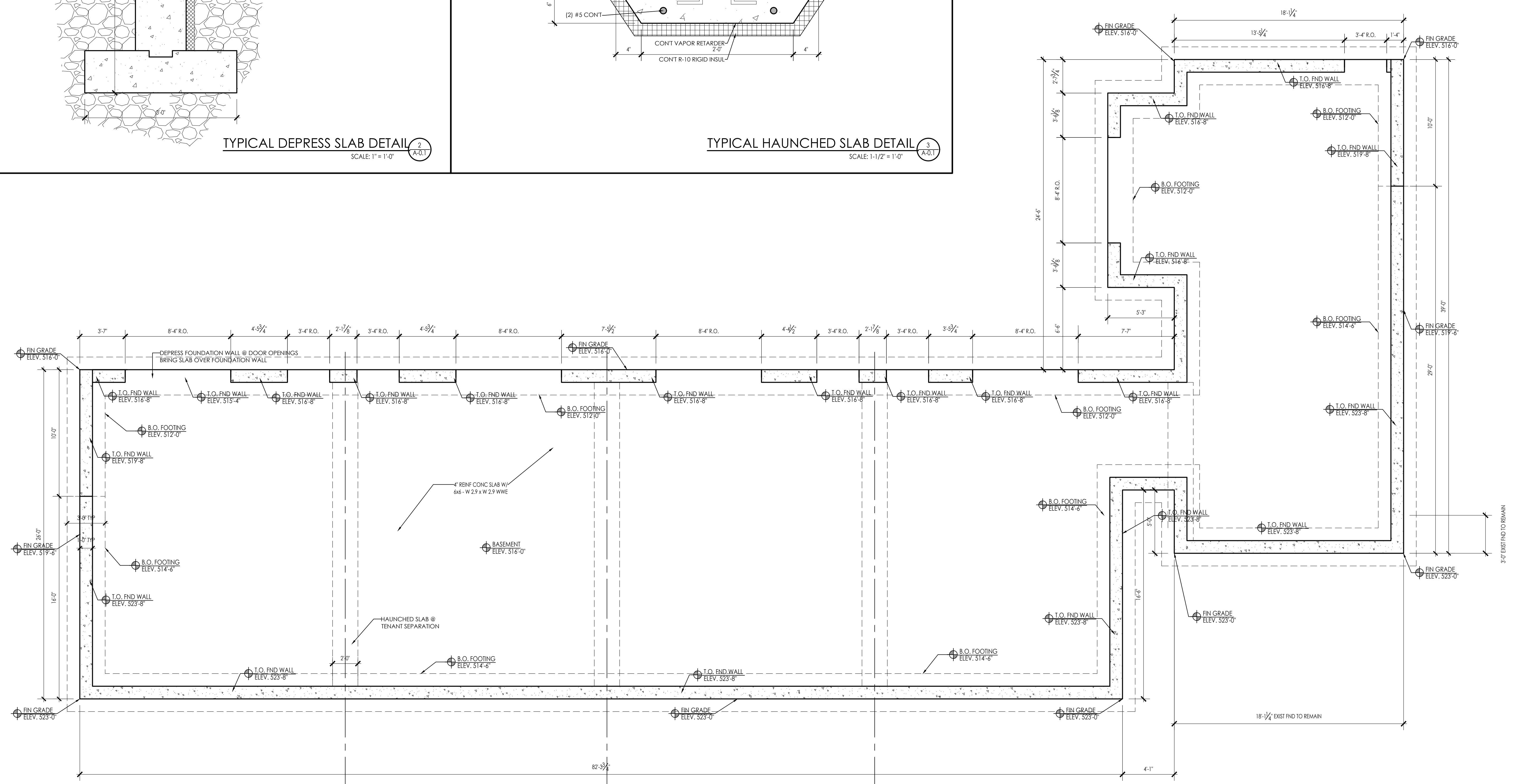
A-0.1



TYPICAL DEPRESS SLAB DETAIL
 SCALE: 1" = 1'-0" (A-0.1)



TYPICAL HAUNCHED SLAB DETAIL
 SCALE: 1-1/2" = 1'-0" (A-0.1)



CONCEPTUAL FOUNDATION PLAN
 SCALE: 1/4" = 1'-0" (A-0.1)

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

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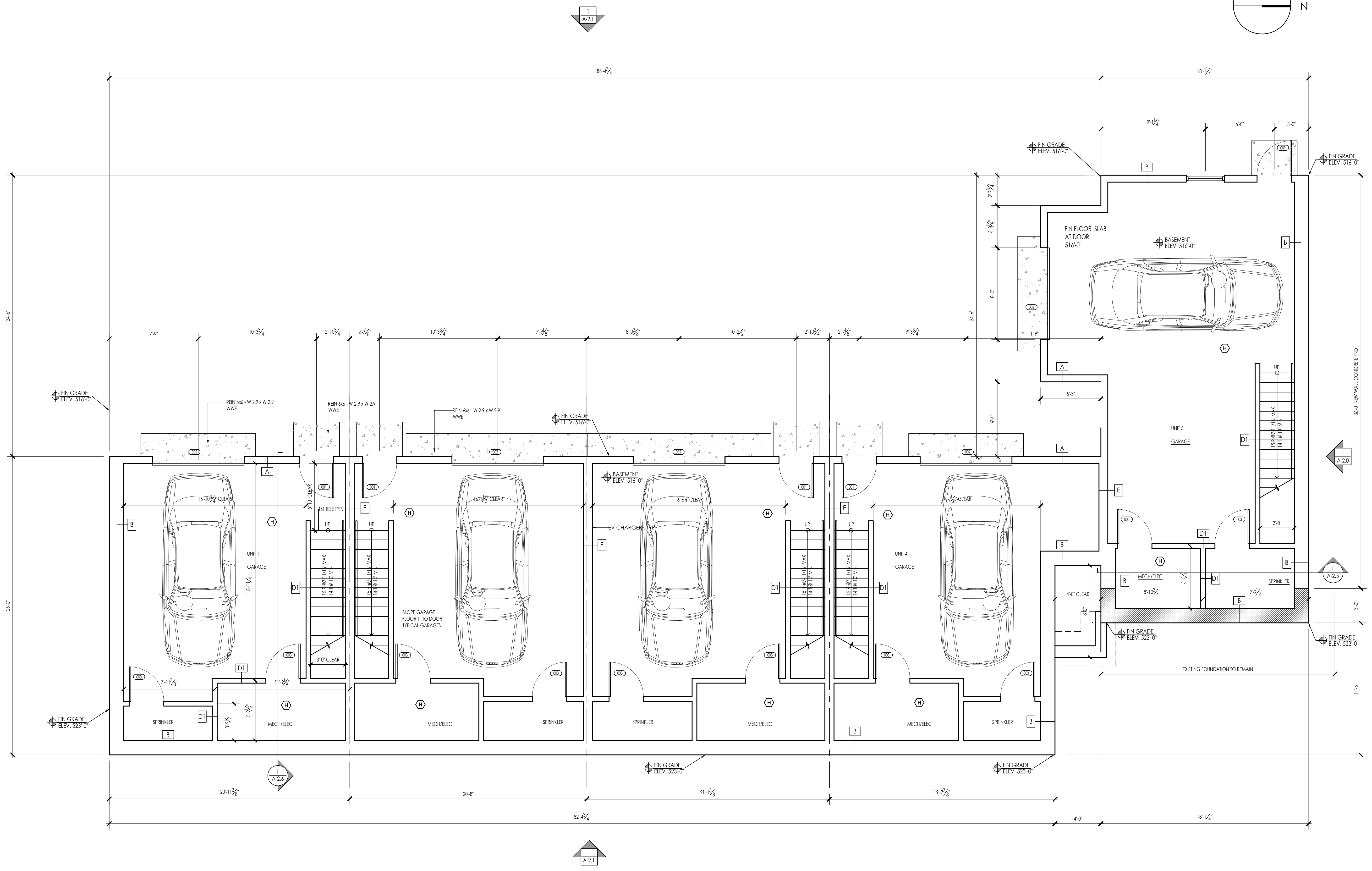
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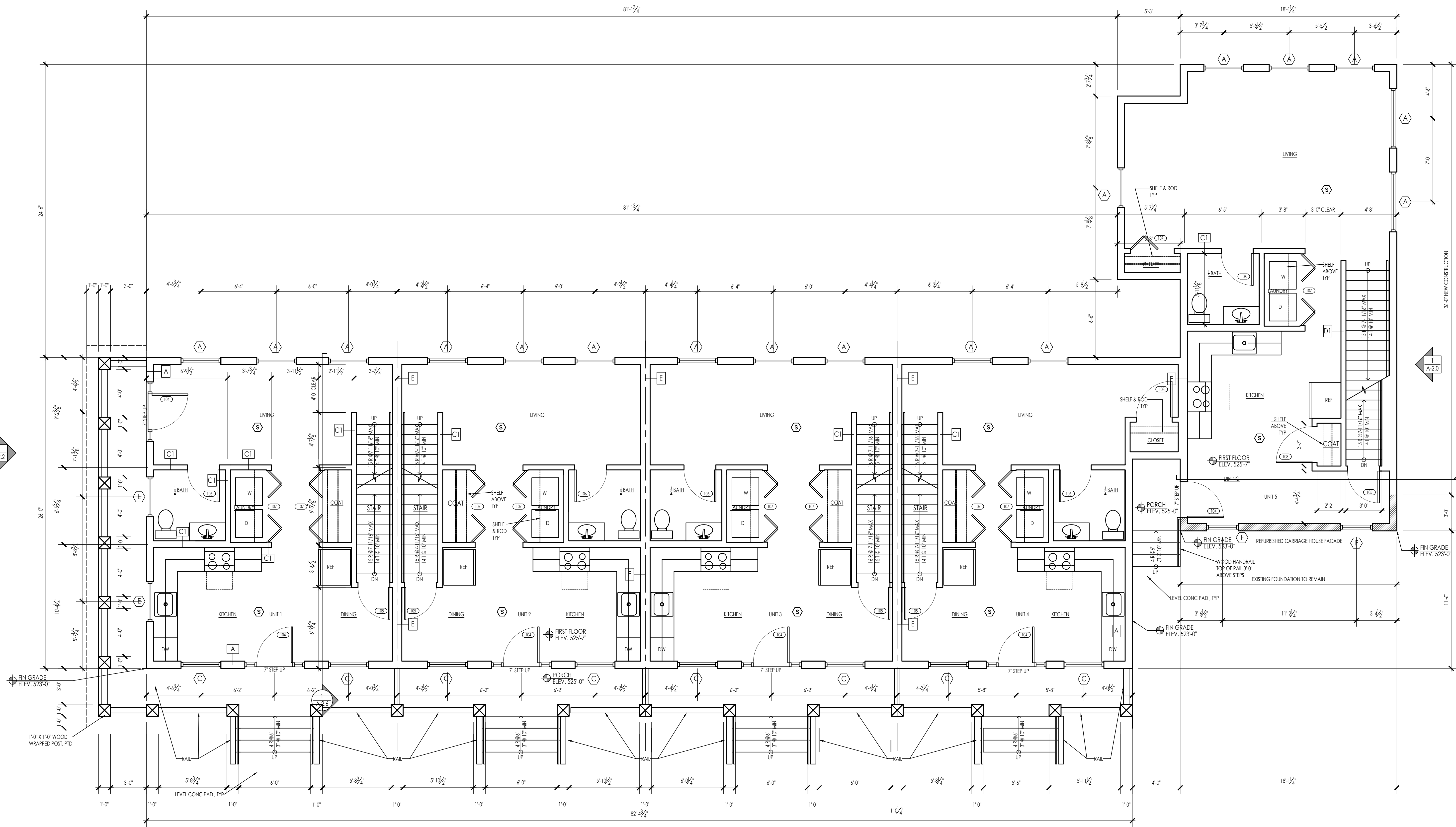
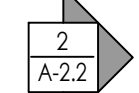
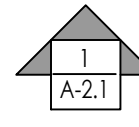
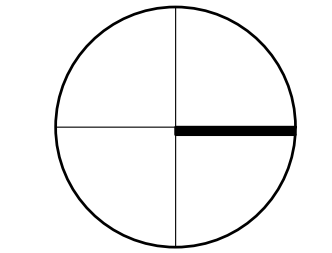
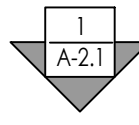
SHEET TITLE:
 BASEMENT PLAN

SHEET NUMBER:

A-1.0



BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



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ENGINEER:

ENGINEER'S STAMP:

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 HISTORIC DISTRICT
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 WORCESTER, MA 01609

SHEET TITLE:
 FIRST FLOOR PLAN

SHEET NUMBER:

FIRST FLOOR PLAN 1
 SCALE: 1/4" = 1'-0"







A-1.1

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

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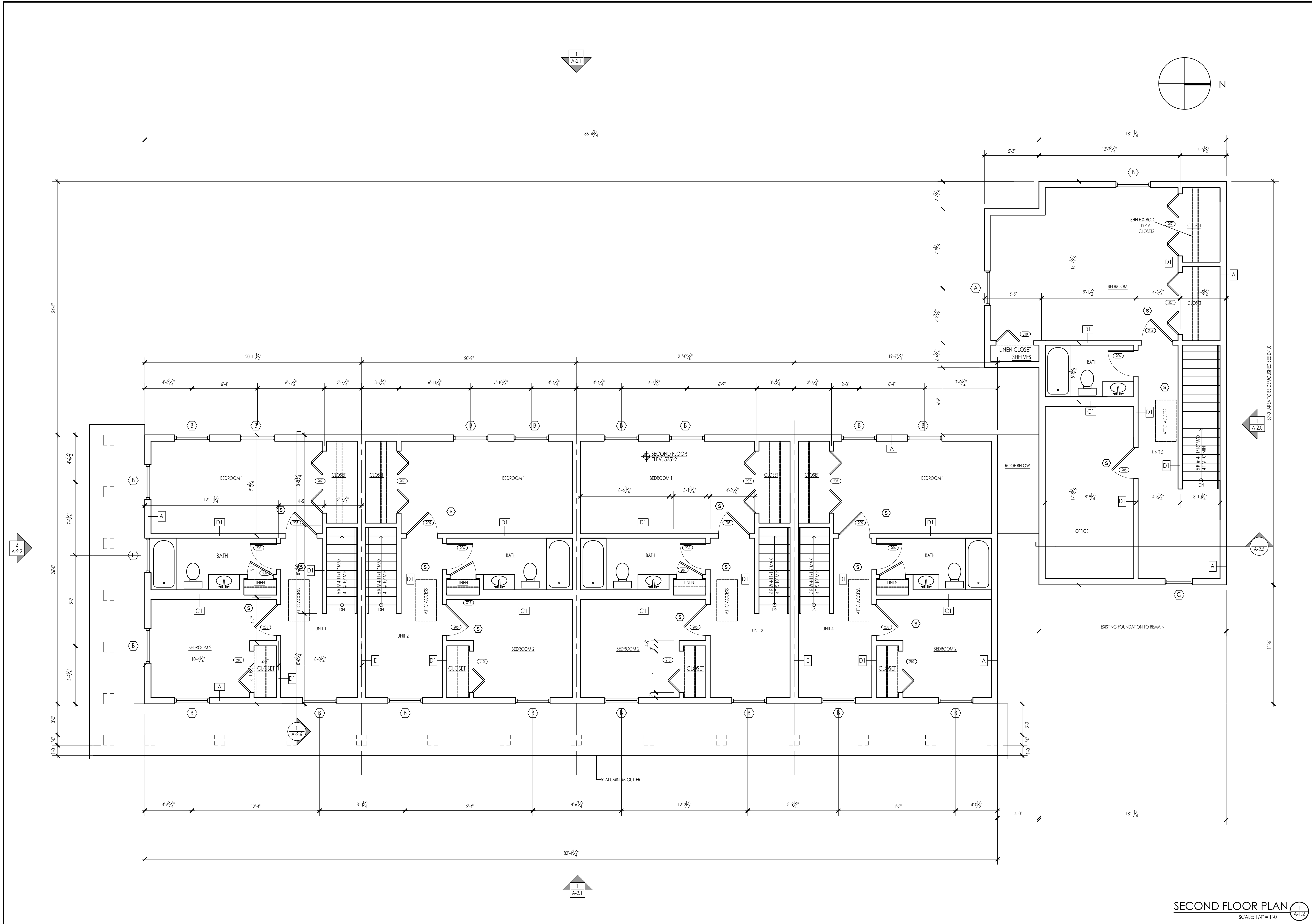
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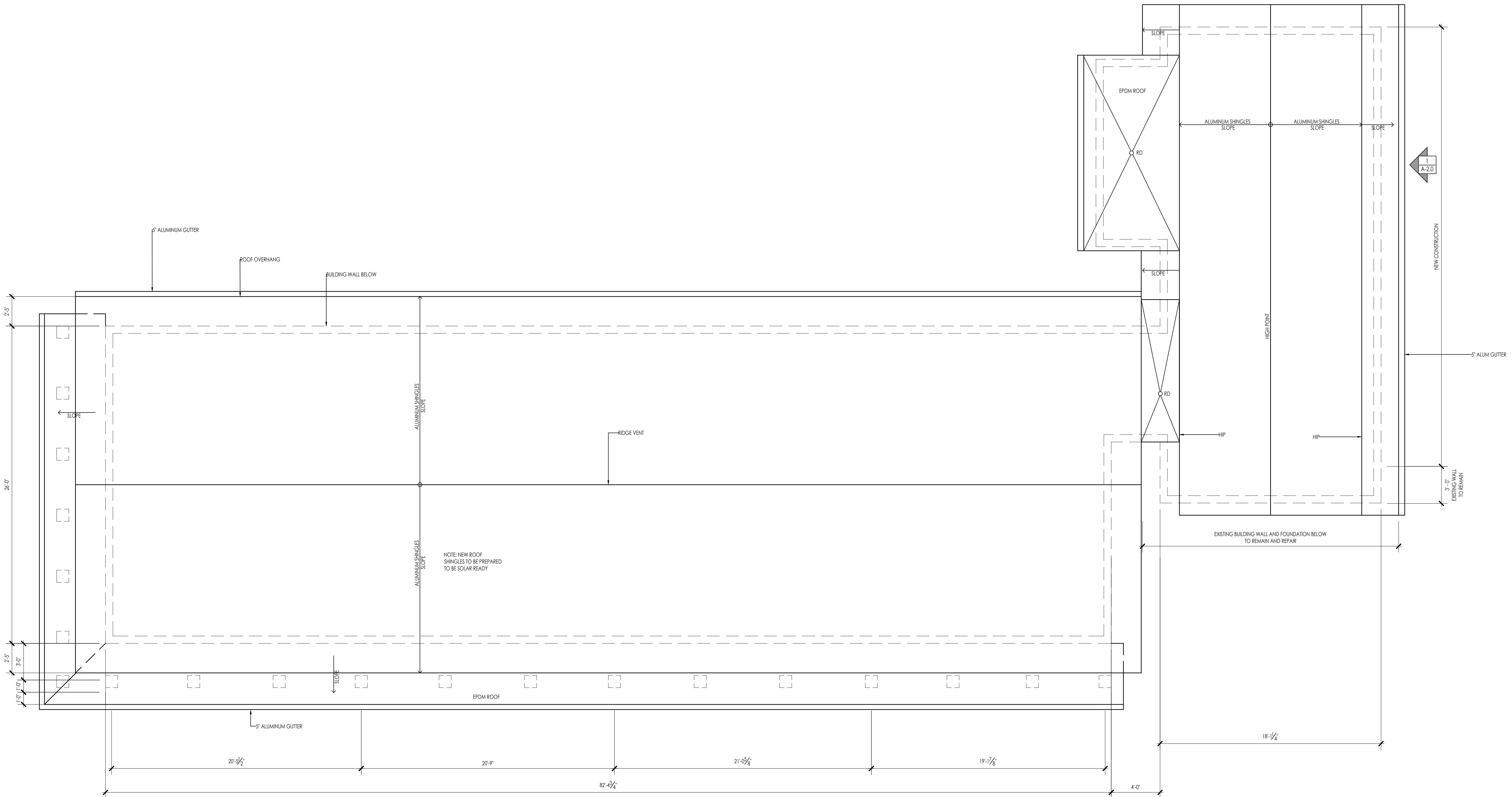
SHEET TITLE:
 SECOND FLOOR PLAN

SHEET NUMBER:

A-1.2



1
A-2.1



26'-0"
2'-5"
3'-0"
1'-0"
1'-0"

5' ALUMINUM GUTTER

ROOF OVERHANG

BUILDING WALL BELOW

ALUMINUM SHINGLES SLOPE

ALUMINUM SHINGLES SLOPE

EPDM ROOF

5' ALUMINUM GUTTER

RIDGE VENT

EPDM ROOF

RD

ALUMINUM SHINGLES SLOPE

ALUMINUM SHINGLES SLOPE

HIGH POINT

HP

HP

EXISTING BUILDING WALL AND FOUNDATION BELOW TO REMAIN AND REPAIR

NEW CONSTRUCTION

5' ALUM GUTTER

5' ALUM GUTTER TO REMAIN

EXISTING BUILDING WALL AND FOUNDATION BELOW TO REMAIN AND REPAIR

18'-1/4"

ROOF CONSTRUCTION

EAST COAST ALUMINUM METAL ROOFING

EAVE TO PEAK TITANIUM HIGH TEMPERATURE ICE AND WATER SHIELD.
COMAR VENT 3 SYNTHETIC BREATHABLE UNDERLAYMENT.
ALUMINUM FLASHINGS, PLUMBING VENTS AND CHIMNEY COLLARS AS REQUIRED.
PERMALOCK ALUMINUM SHINGLES INSTALL PER EAST COAST ALUMINUM METAL ROOFING REQUIREMENTS FOR WARRANTY AND WORKMANSHIP.

ROOF PLAN
SCALE: 1/4" = 1'-0"

ARCHITECT:

DIXON SALO ARCHITECTS
 INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 WILMINGTON, MASSACHUSETTS 01890
 (01508) 755-0333 (01508) 372-5368
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 ROOF PLAN

SHEET NUMBER:
A-1.3

114 AUSTIN STREET
 WORCESTER, MA 01609
 TEL: 508.752.5398
 FAX: 508.752.5398
 WWW.DIXONSALOARCHITECTS.COM

- LIST OF MATERIALS**
- ROOFING MATERIALS:**
SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:**
SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE
- GUARDS & HANDRAILS:**
HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:**
WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY
CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
DECORATION - TREX TRANSCEND LINEAGE - JASPER
FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
FRAMEWORK - 4x8 VERANDA WHITE GARDEN WYLL LATTICE
COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901

ARCHITECT:



DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, SUITE 200
 WORCESTER, MA 01609
 (508) 752-5398
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

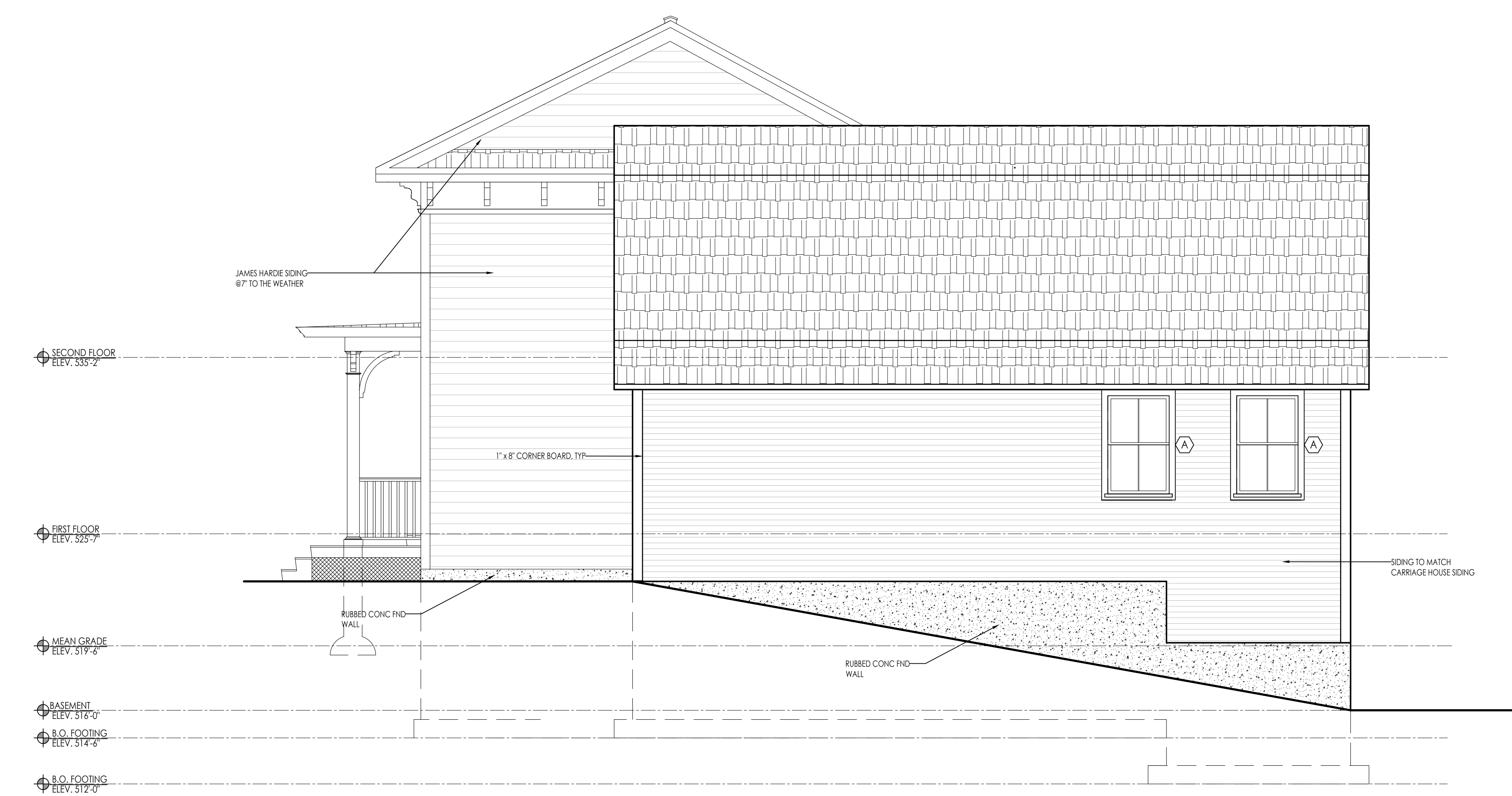
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2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE: 12.28.2023
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 SIDE ELEVATION

SHEET NUMBER:



SIDE ELEVATION
 SCALE: 1/4" = 1'-0"
 1
 A-2.0

LIST OF MATERIALS

ROOFING MATERIALS:
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN

SIDING MATERIALS:
 SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE

GUARDS & HANDRAILS:
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FENESTRATION:
 WINDOWS - ANDERSEN A SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL

SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY

CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH

DECKING - TREX TRANSCEND LINEAGE - JASPER

FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FRAMEWORK - 48" VERANDA WHITE GARDEN WYNY LATTICE

COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED

BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2







MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

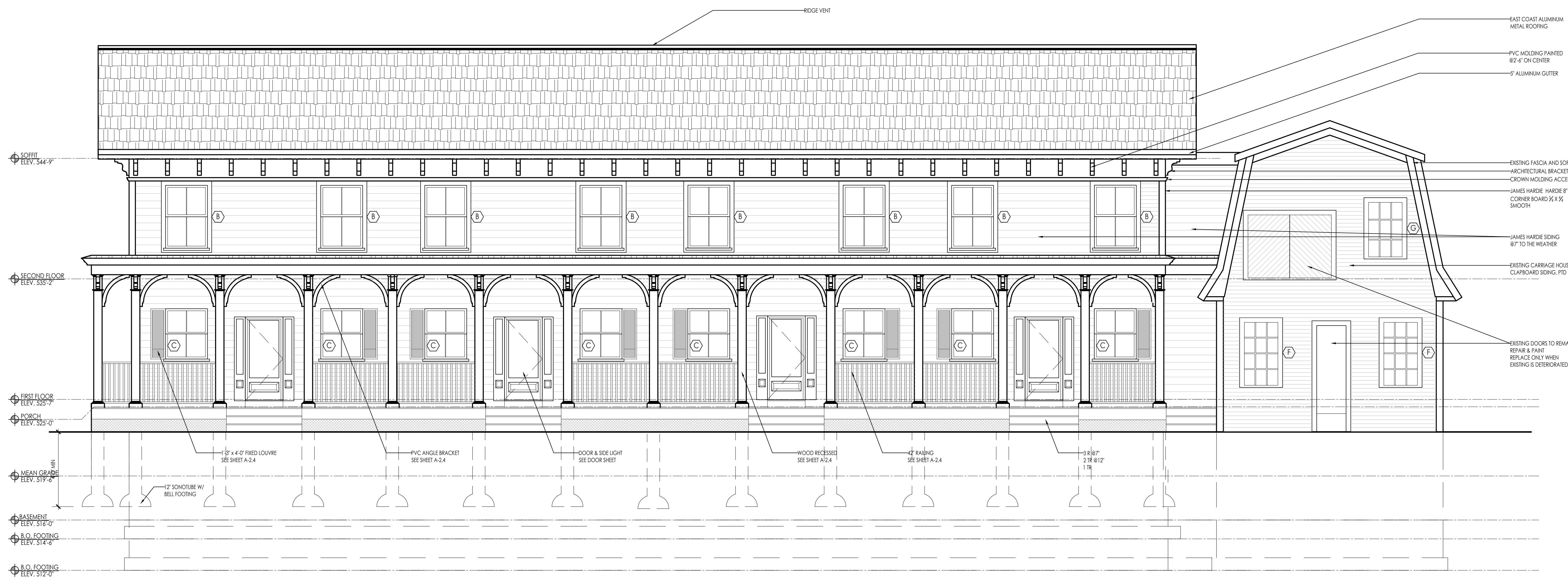
DATE: 12.28.2023
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 QUINCY STREET ELEVATION

SHEET NUMBER:

A-2.1



114 AUSTIN STREET
 WORCESTER, MA 01609
 (508) 755-0333
 (508) 755-0333
 ADMIN@DIXONSALOARCHITECTS.COM

- LIST OF MATERIALS**
- ROOFING MATERIALS:**
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
- SIDING MATERIALS:**
 SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE
- GUARDS & HANDRAILS:**
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
- FENESTRATION:**
 WINDOWS - ANDERSEN A SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL
- SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY**
CORNER MOLDING - JAMES HARDIE HARDITRIM 1/2" TRIM - SMOOTH
DECKING - TREX TRANSCEND LINEAGE - JASPER
FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
FRAMEWORK - 48" VERANDA WHITE GARDEN WYLY LATTICE
COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:



□	SCHEMATIC	07.20.2023
□	DESIGN DEVELOPMENT	10.25.2023
□	BID	N/A
□	PERMIT	12.28.2023
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

4	
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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE: 12.28.2023
 SCALE: AS NOTED
 PROJECT: 2022.75
 DRAWN: PL
 CHECKED: JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 AUSTIN STREET ELEVATION

SHEET NUMBER:

AUSTIN STREET ELEVATION
 SCALE: 1/4" = 1'-0" 1
A-2.2

A-2.2

LIST OF MATERIALS

ROOFING MATERIALS:
 SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN

SIDING MATERIALS:
 SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE

GUARDS & HANDRAILS:
 HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS

FENESTRATION:
 WINDOWS - ANDERSEN A SERIES WOOD WINDOW, PAINTED WHITE
 DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
 GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 903 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL

SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY
 CORNER MOLDING - JAMES HARDIE HARDIETRIM 1/2" TRIM - SMOOTH
 DECKING - TREX TRANSCEND LINEAGE - JASPER
 FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALUSTERS
 FRAMEWORK - 48" VERANDA WHITE GARDEN WYLL LATTICE
 COLUMN - BROSCO DSI ALUMINUM COLUMN - RECESSED
 BRACKET - BROSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
 MOLDING - BROSCO INTEX MILLED & PRIMED PVC MOLDING - 7901

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

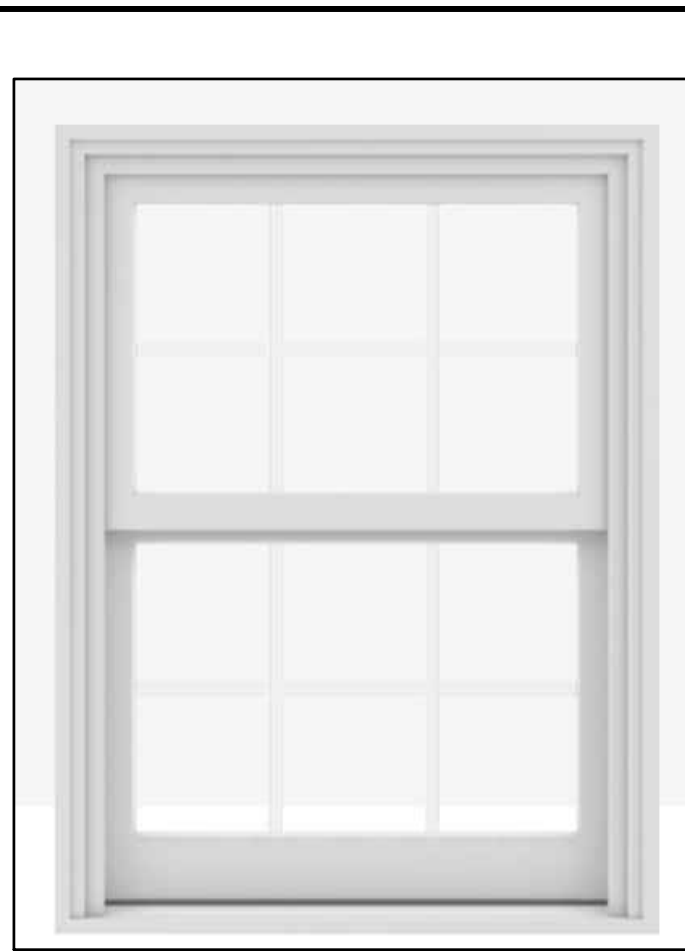
PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

SHEET TITLE:
 REAR ELEVATION

SHEET NUMBER:

A-2.3



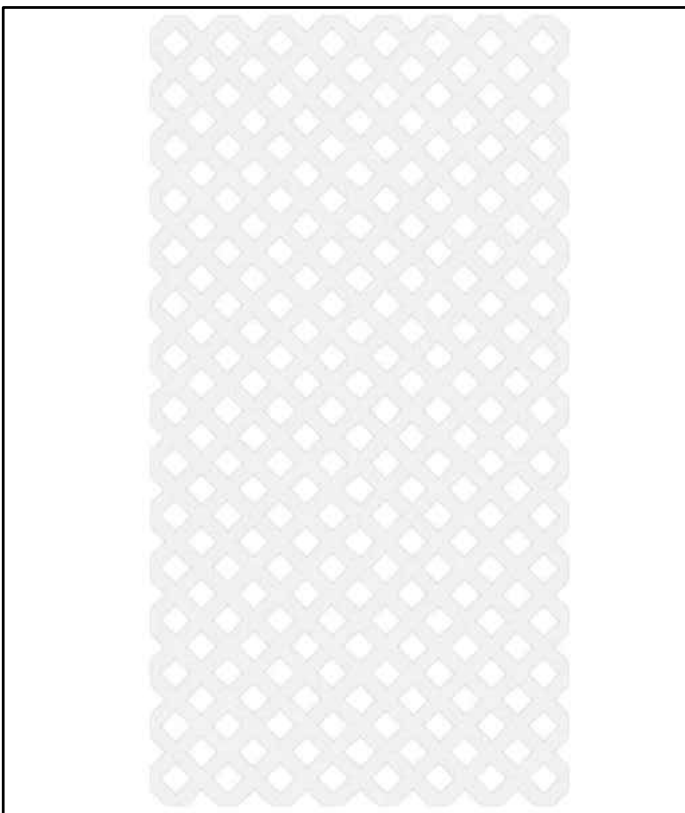


ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
SEE WINDOW SCHEDULE

ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
DOOR = 3'-0" x 6'-8" WITH (2) 3/4" SIDELIGHTS

MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR,
FRONT DOOR WINDOWS, PAINT GRADE, FACTORY PRIMED LIGHT GRAY

JAMES HARDIE 8" WIDE HARDIETRIM 3/4" TRIM - SMOOTH



4x8 VERANDA WHITE GARDEN VINYL LATTICE

EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN
5' x 12' EXPOSURE

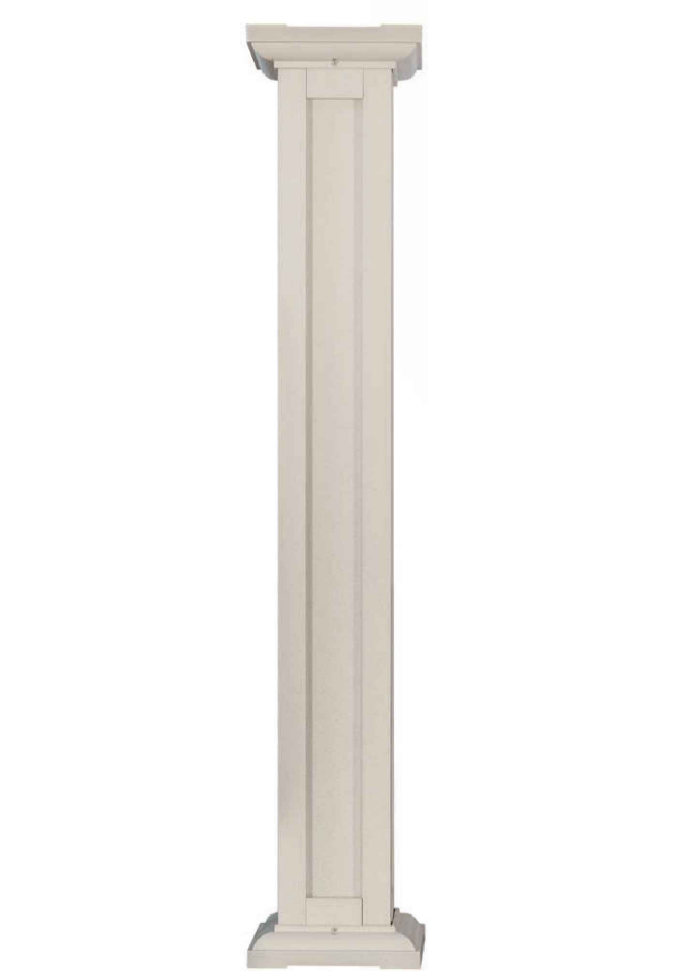
OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12
WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL



JAMES HARDIE 7" PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION -
COBBLE STONE, TO WEATHER

VERANDA 42" TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL
BALLUSTERS

TREX TRANSCEND LINEAGE - JASPER, 6" x 3/4" BOARDS, PORCH DECK



BROSCOSCO DSI ALUMINUM COLUMN - RECESSED, PAINTED

BROSCOSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2, PAINTED

BROSCOSCO INTEX MILLED & PRIMED PVC MOULDING - 7901, PAINTED

3/7/2024 6:38 AM

LIST OF MATERIALS

ROOFING MATERIALS:
SHINGLE - EAST COAST METAL ROOFING ALUMINUM SMOOTH TUDOR BROWN

SIDING MATERIALS:
SIDING - JAMES HARDIE PLANK LAP SIDING - SMOOTH, STATEMENT COLLECTION - COBBLE STONE

GUARDS & HANDRAILS:
HANDRAILS - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALLUSTERS

FENESTRATION:
WINDOWS - ANDERSEN A-SERIES WOOD WINDOW, PAINTED WHITE
DOORS - ANDERSEN WOOD ENTRY DOOR - PAINTED WHITE
GARAGE DOOR - OVERHEAD DOOR COMPANY MODEL 303 ARCHED - 8'X7', GRAY/WHITE, 12 WINDOW ARCHED, CLEAR, BARCELONA HINGE, BARCELONA PULL

SHUTTER - MILLWORK TRADERS STANDARD DUTY FIXED LOUVER 15'X48" - SPANISH CEDAR, PAINT GRADE, FACTORY PRIMED LIGHT GRAY
CORNER MOLDING - JAMES HARDIE HARDIETRIM 3/4" TRIM - SMOOTH
DECKING - TREX TRANSCEND LINEAGE - JASPER
FENCING - VERANDA 36 IN. TRADITIONAL WHITE POLY-COMPOSITE RAIL GATE KIT W/ METAL BALLUSTERS
FRAMEWORK - 4x8 VERANDA WHITE GARDEN VINYL LATTICE
COLUMN - BROSCOSCO DSI ALUMINUM COLUMN - RECESSED
BRACKET - BROSCOSCO PVC OUTDOOR PRODUCTS BRACKETS - HBKT-2
MOLDING - BROSCOSCO INTEX MILLED & PRIMED PVC MOULDING - 7901

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
300 MAIN STREET, SUITE 200, WILMINGTON, MA 01890
(617) 598-7250 FAX (617) 598-7253
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

4	
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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE: 12.28.2023
SCALE: AS NOTED
PROJECT: 2022.75
DRAWN: PL
CHECKED: JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
PROPOSED MATERIALS PHOTOS

SHEET NUMBER:
A-2.4

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
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1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

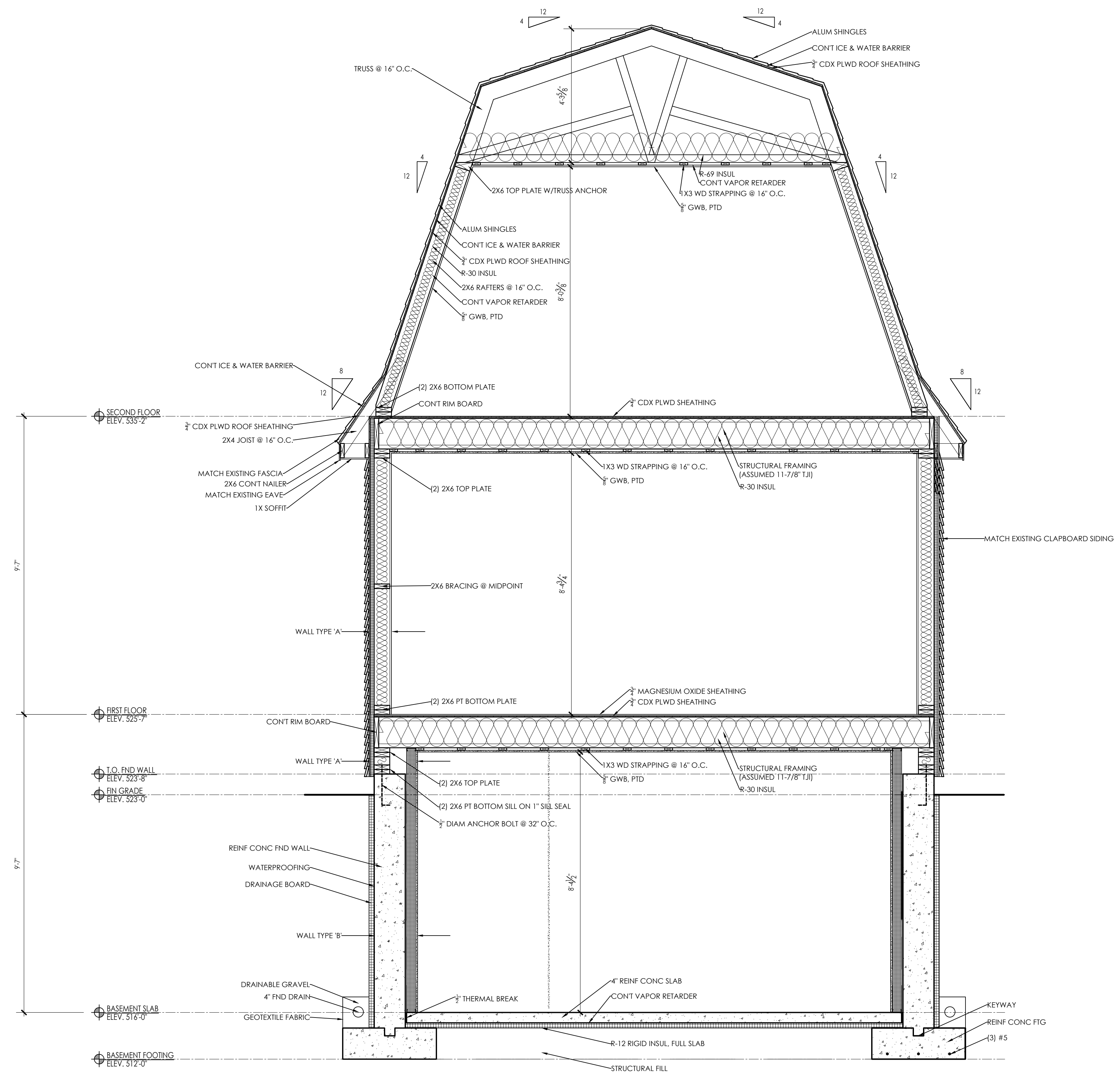
DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

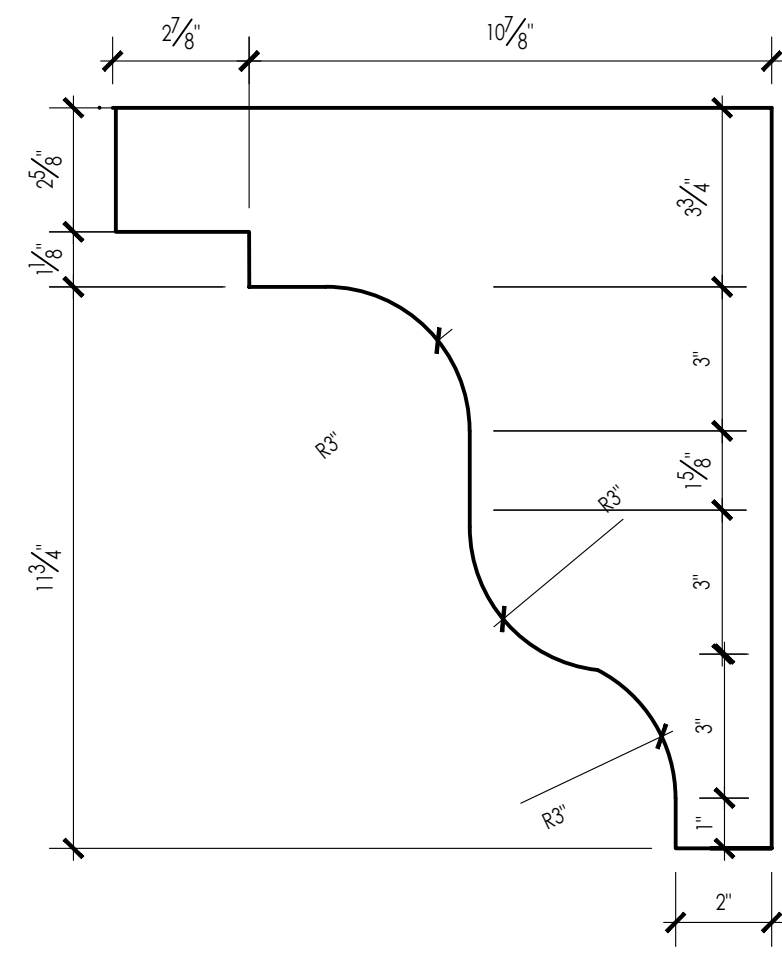
SHEET TITLE:
 CARRIAGE HOUSE SECTION

SHEET NUMBER:

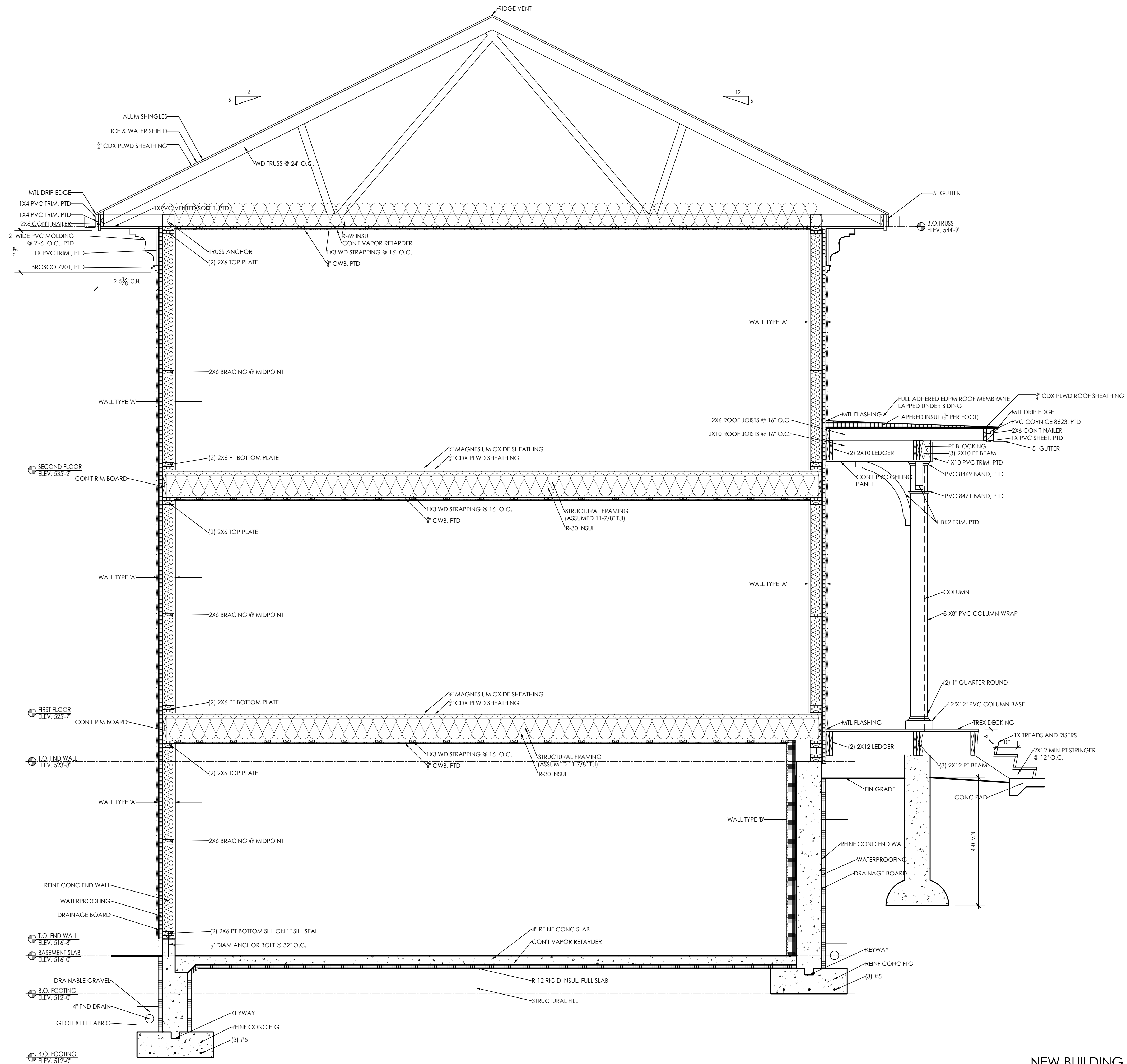
A-2.5



CARRIAGE HOUSE SECTION
 SCALE: 1/2" = 1'-0"



ROOF TRIM DETAIL
SCALE: 3" = 1'-0"
A-2.5



NEW BUILDING SECTION
SCALE: 1/2" = 1'-0"
A-2.5

ARCHITECT:
dha
DIXON SALO ARCHITECTS INCORPORATED
FIRST FLOOR
300 MAIN STREET
WORCESTER, MASSACHUSETTS 01508
(508) 752-5333 (F) 508-752-5398
ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

SCHEMATIC	07.20.2023
DESIGN DEVELOPMENT	10.25.2023
BID	N/A
PERMIT	12.28.2023
CONSTRUCTION	
EXISTING CONDITIONS	

4	
3	
2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
NEW BUILDING SECTION

SHEET NUMBER:
A-2.6

ARCHITECT'S STAMP:

ENGINEER'S STAMP:

ENGINEER'S STAMP:

GENERAL INFORMATION:

	SCHEMATIC	07.20.2023
	DESIGN DEVELOPMENT	10.25.2023
	BID	N/A
	PERMIT	12.28.2023
	CONSTRUCTION	
	EXISTING CONDITIONS	

4	
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2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

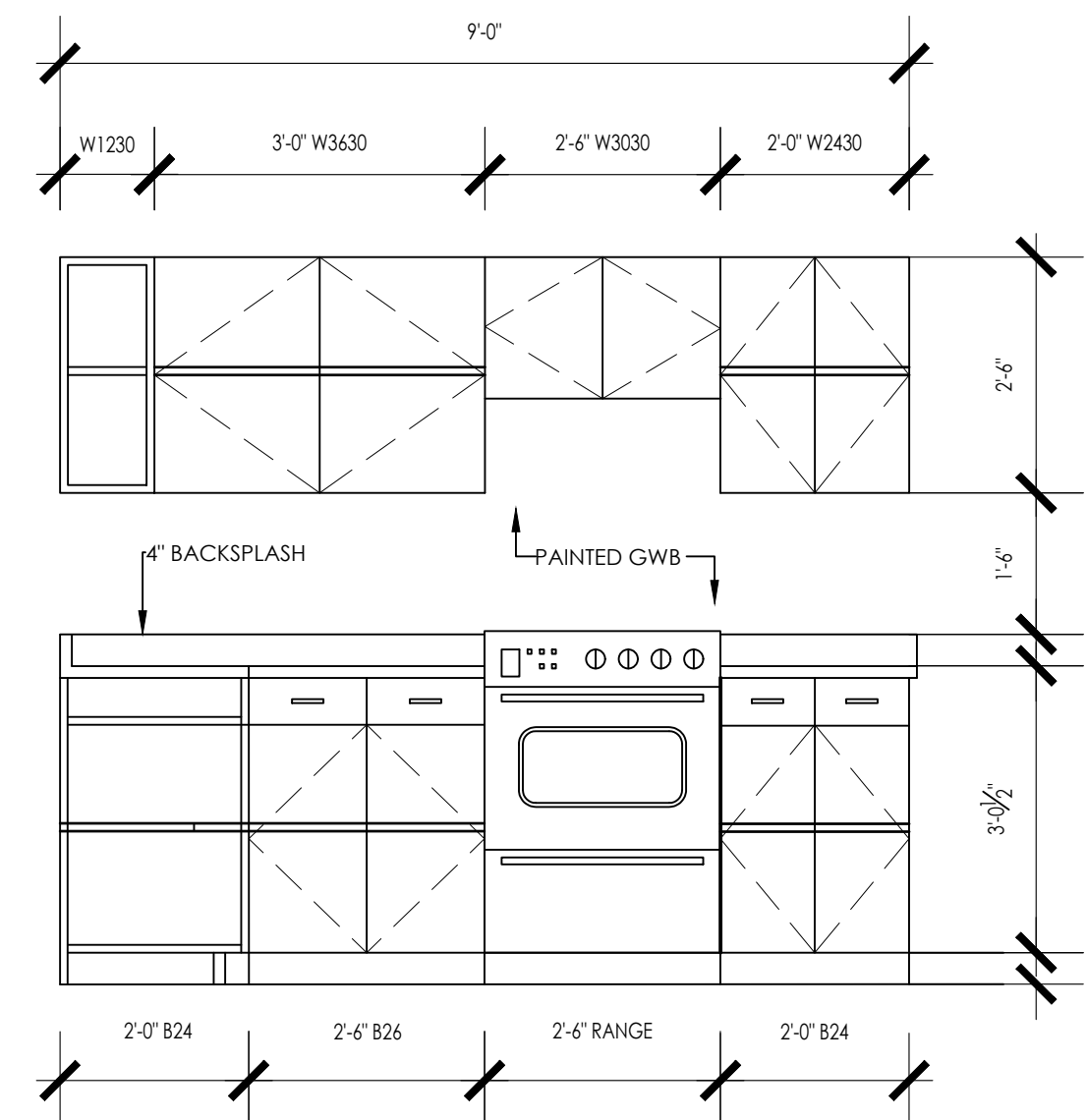
DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
 5-UNIT RESIDENTIAL
 HISTORIC DISTRICT
 114 AUSTIN ST
 WORCESTER, MA 01609

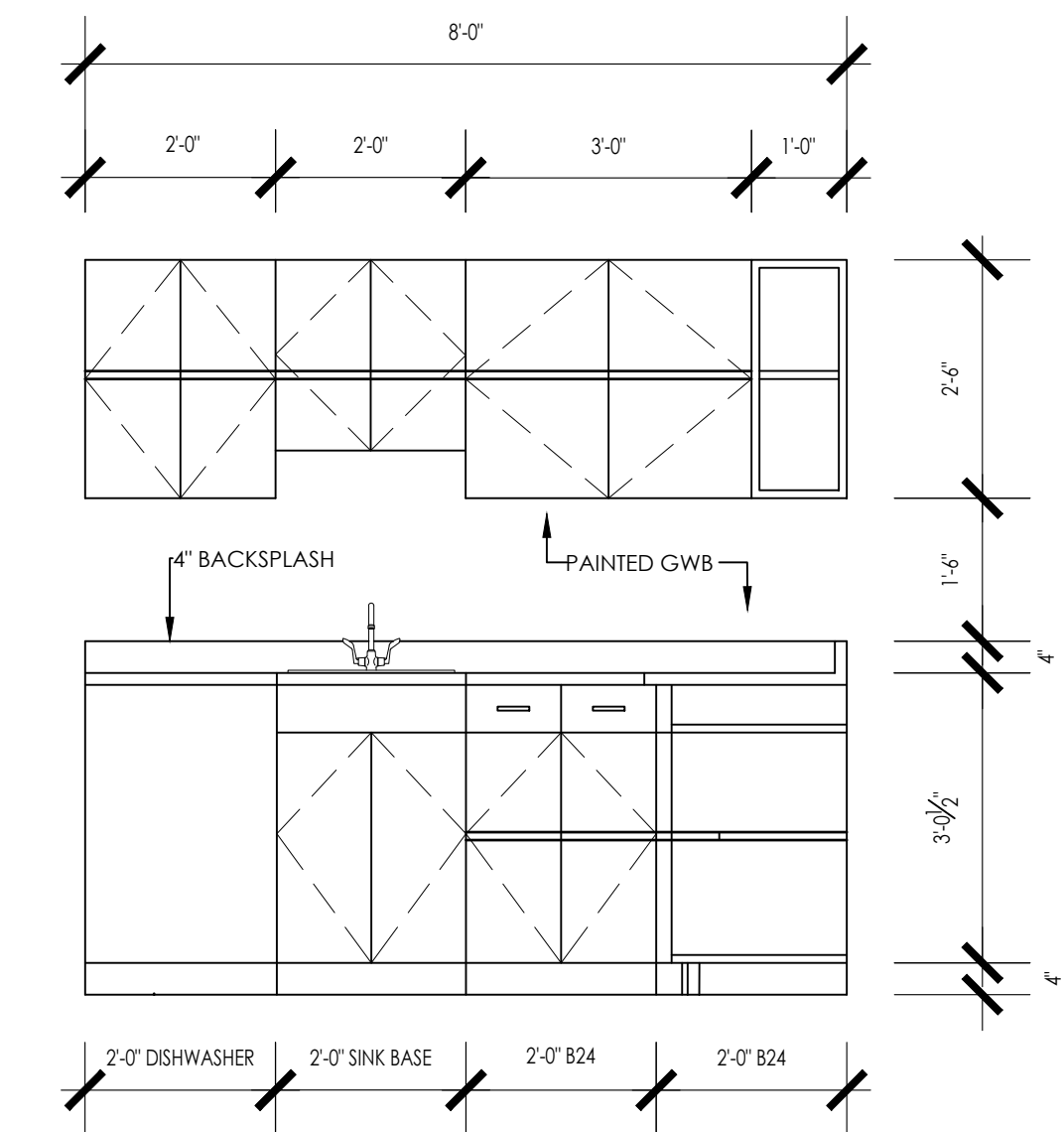
SHEET TITLE:
 KITCHEN AND BATHROOM
 INTERIOR ELEVATIONS

SHEET NUMBER:

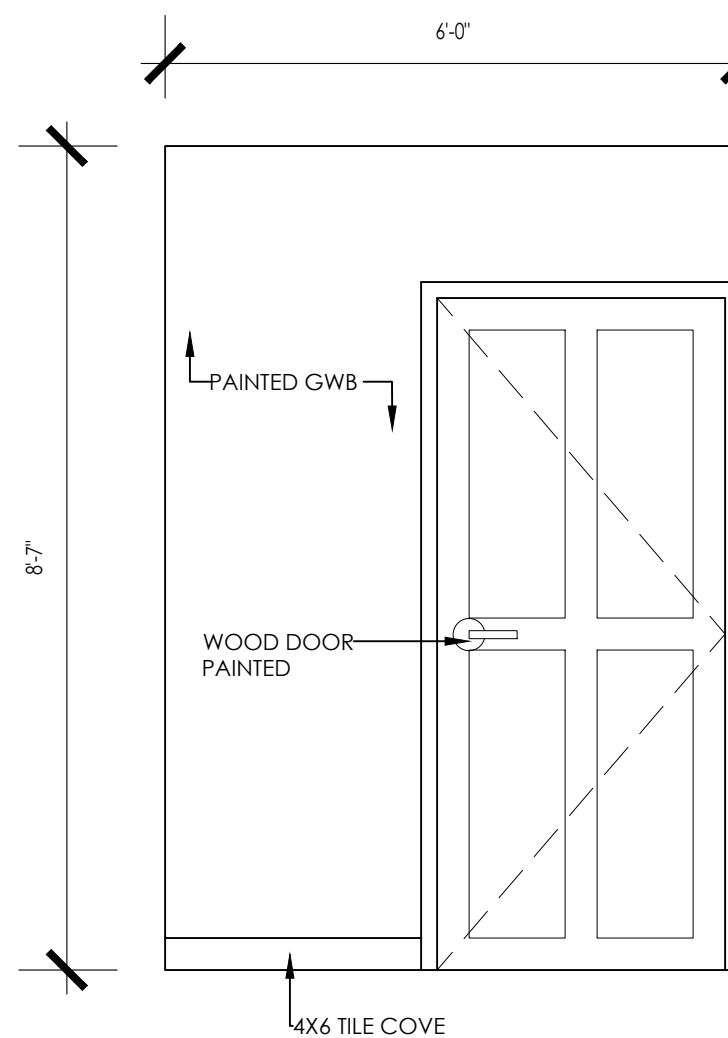
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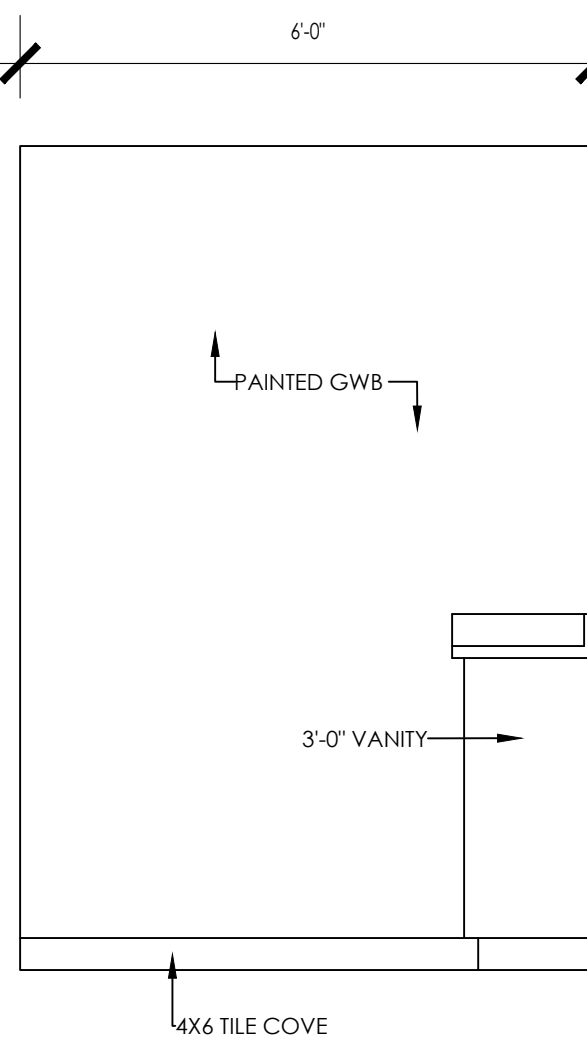
KITCHEN ELEVATION 'A'



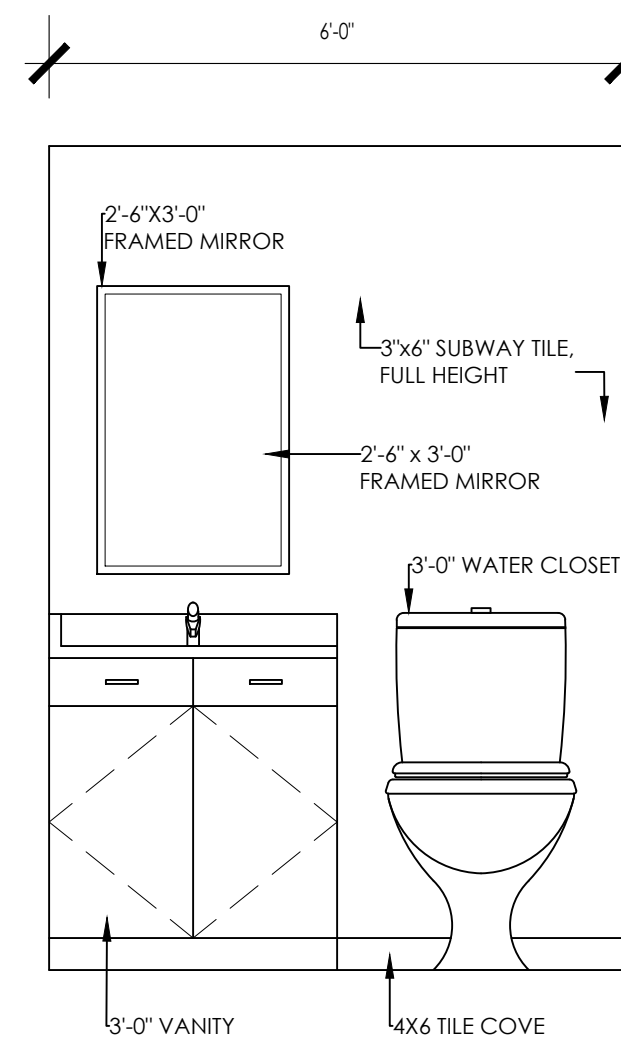
KITCHEN ELEVATION 'B'



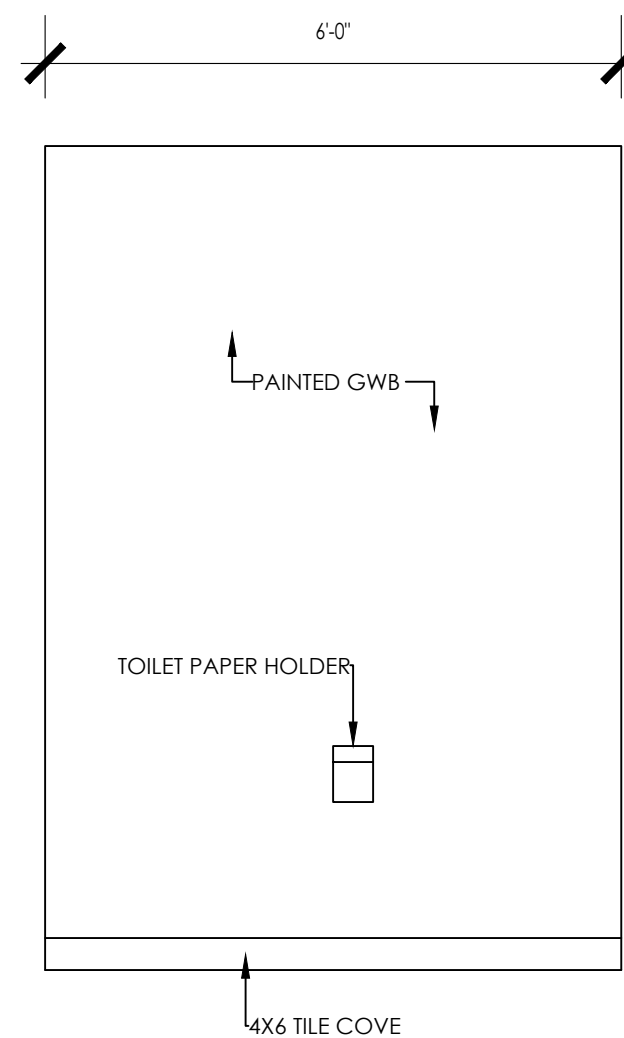
ELEVATION 'A'



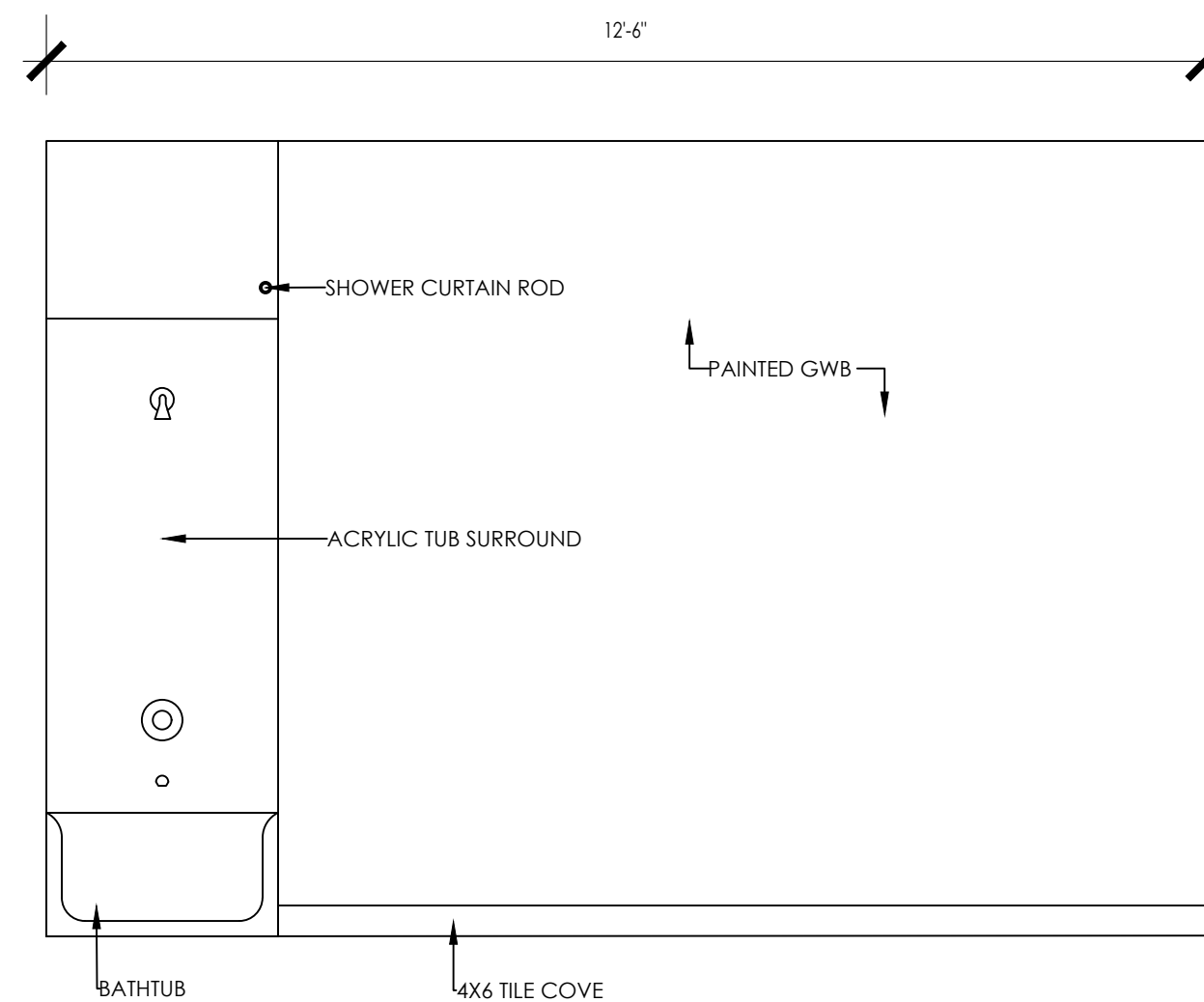
ELEVATION 'B'



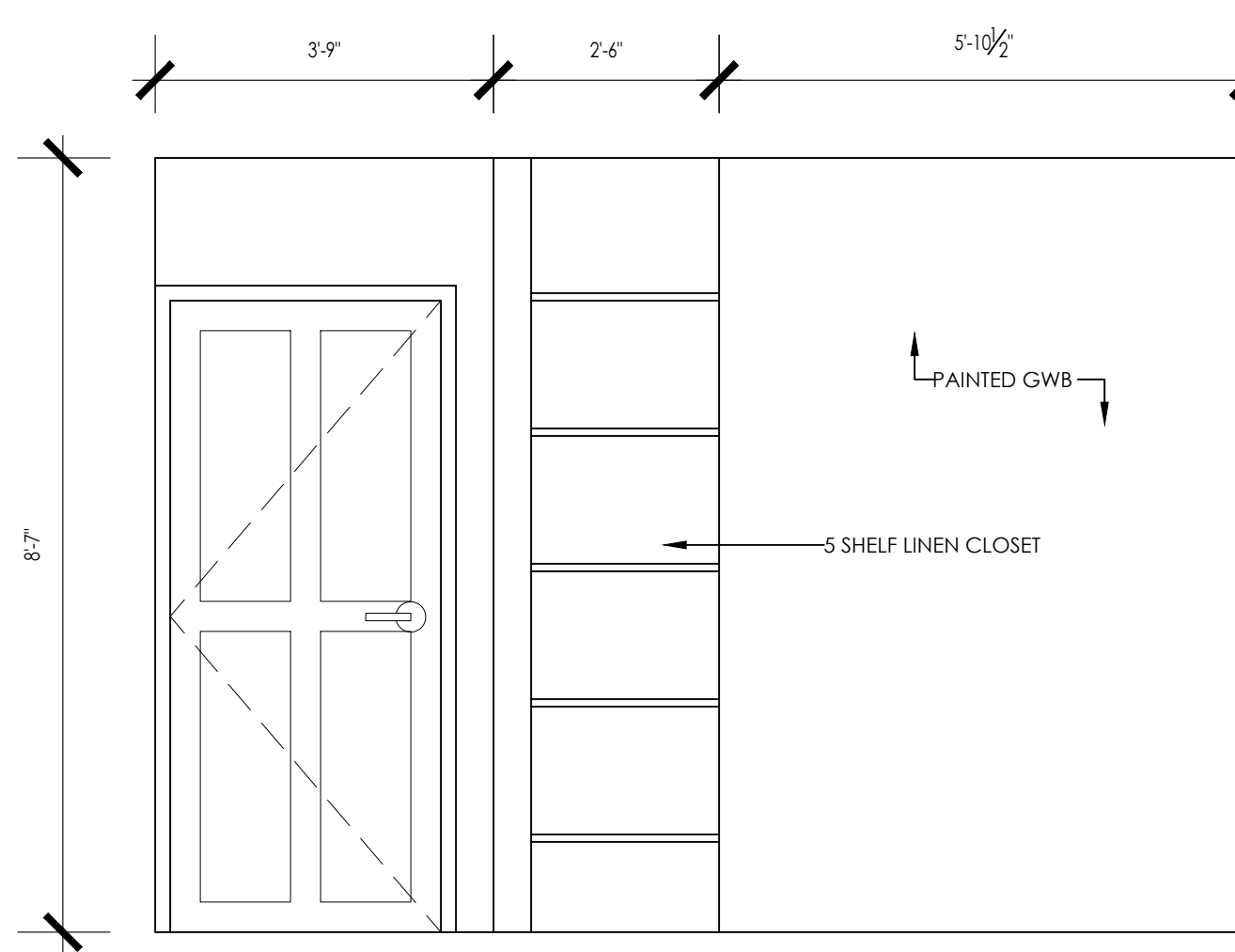
ELEVATION 'C'



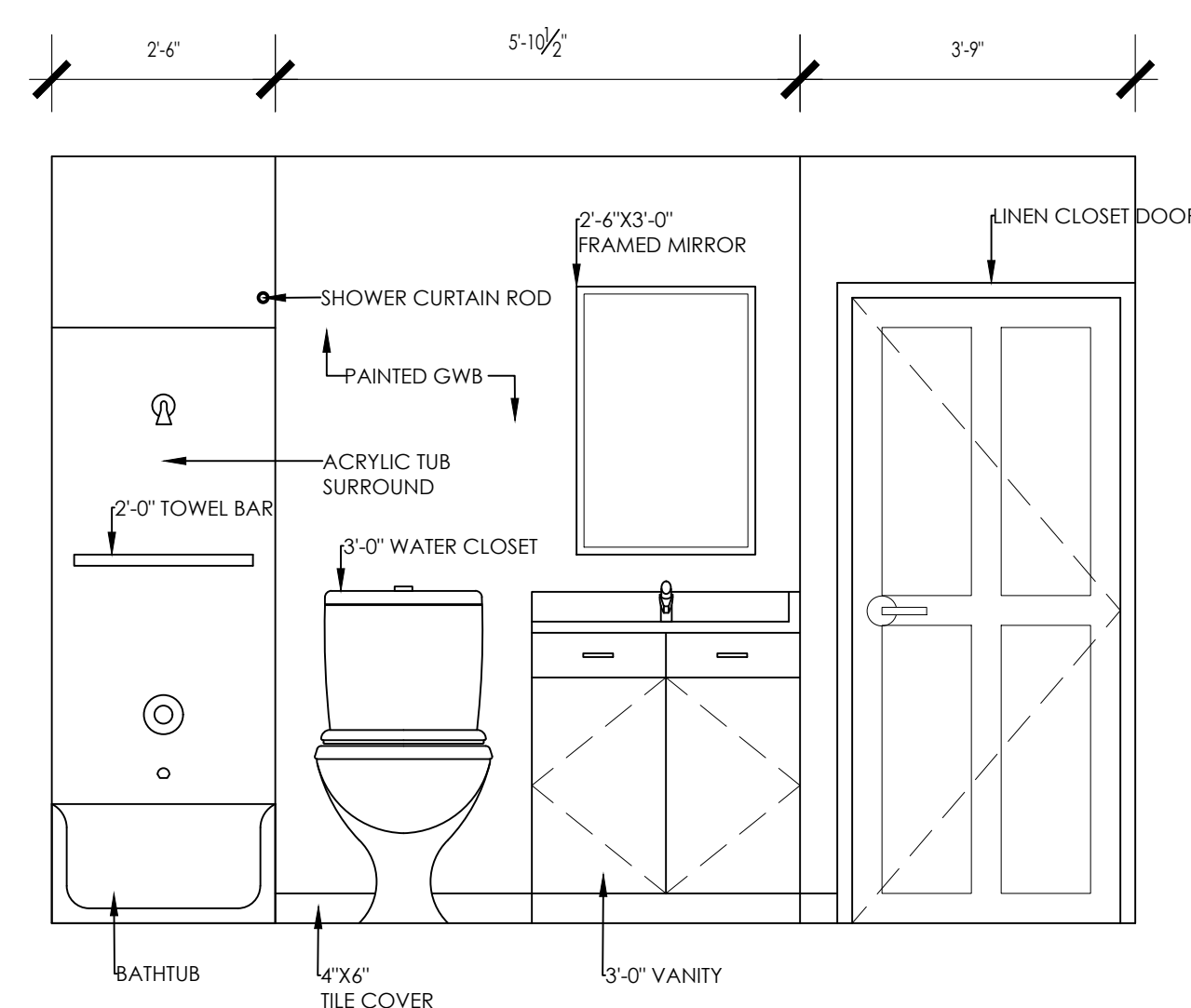
ELEVATION 'D'



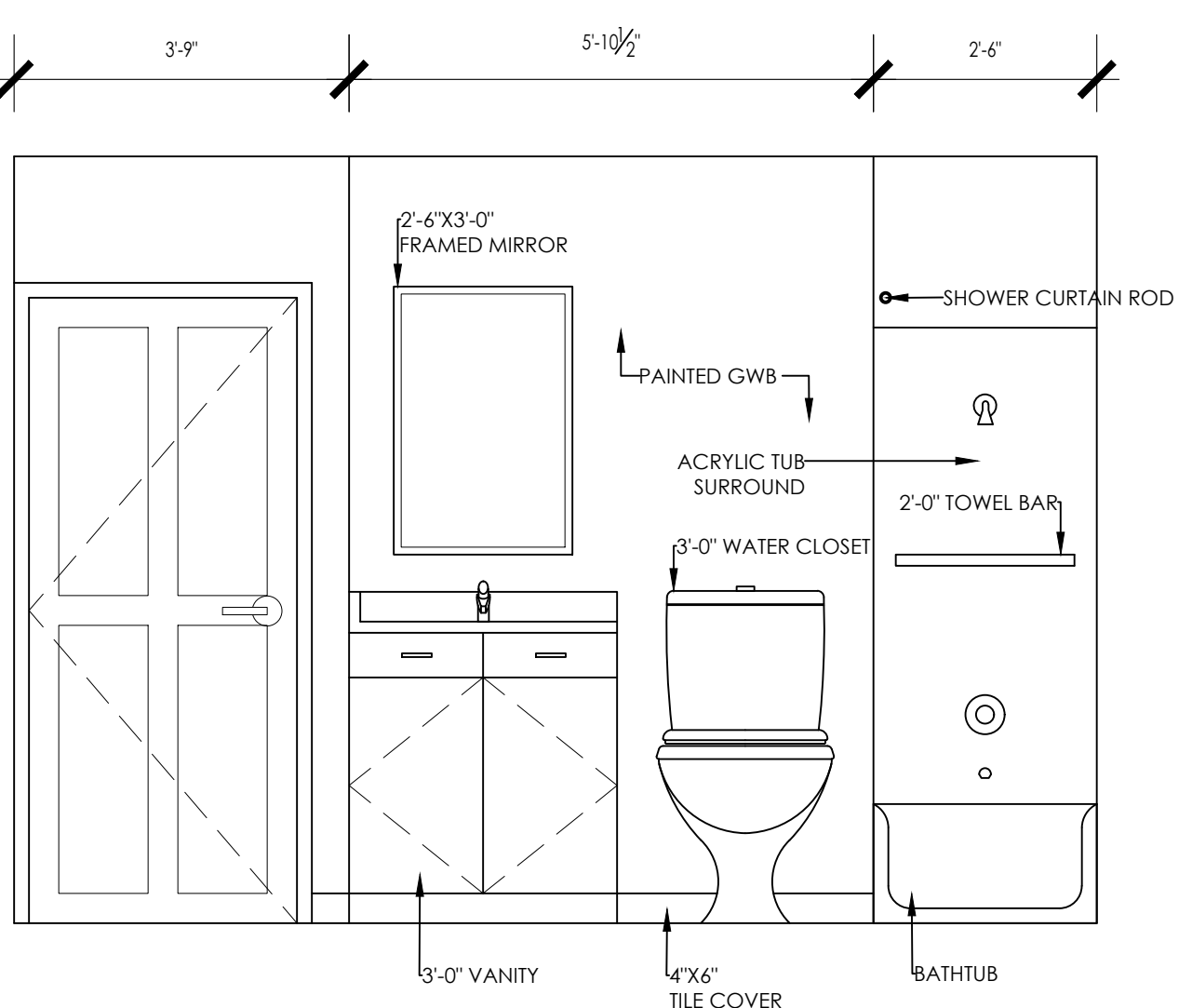
ELEVATION 'E'



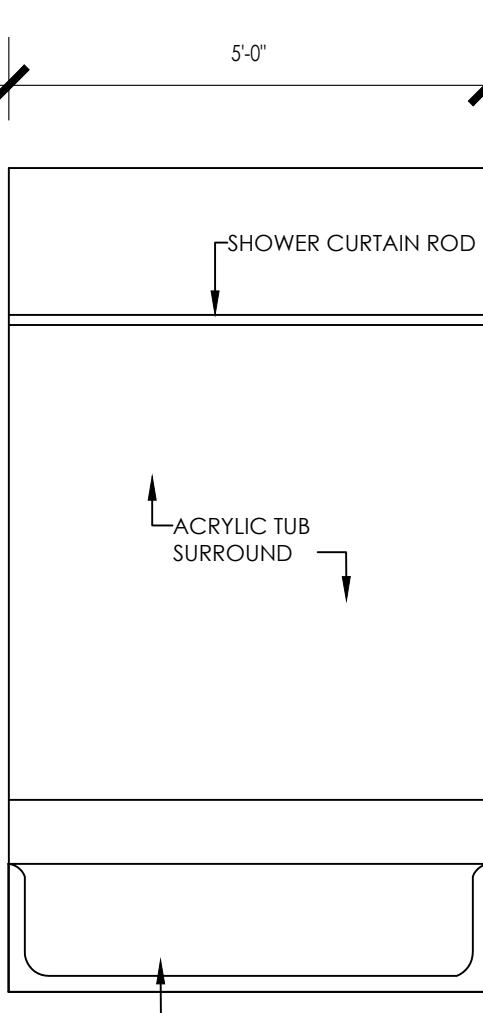
ELEVATION 'F'



ELEVATION 'G'



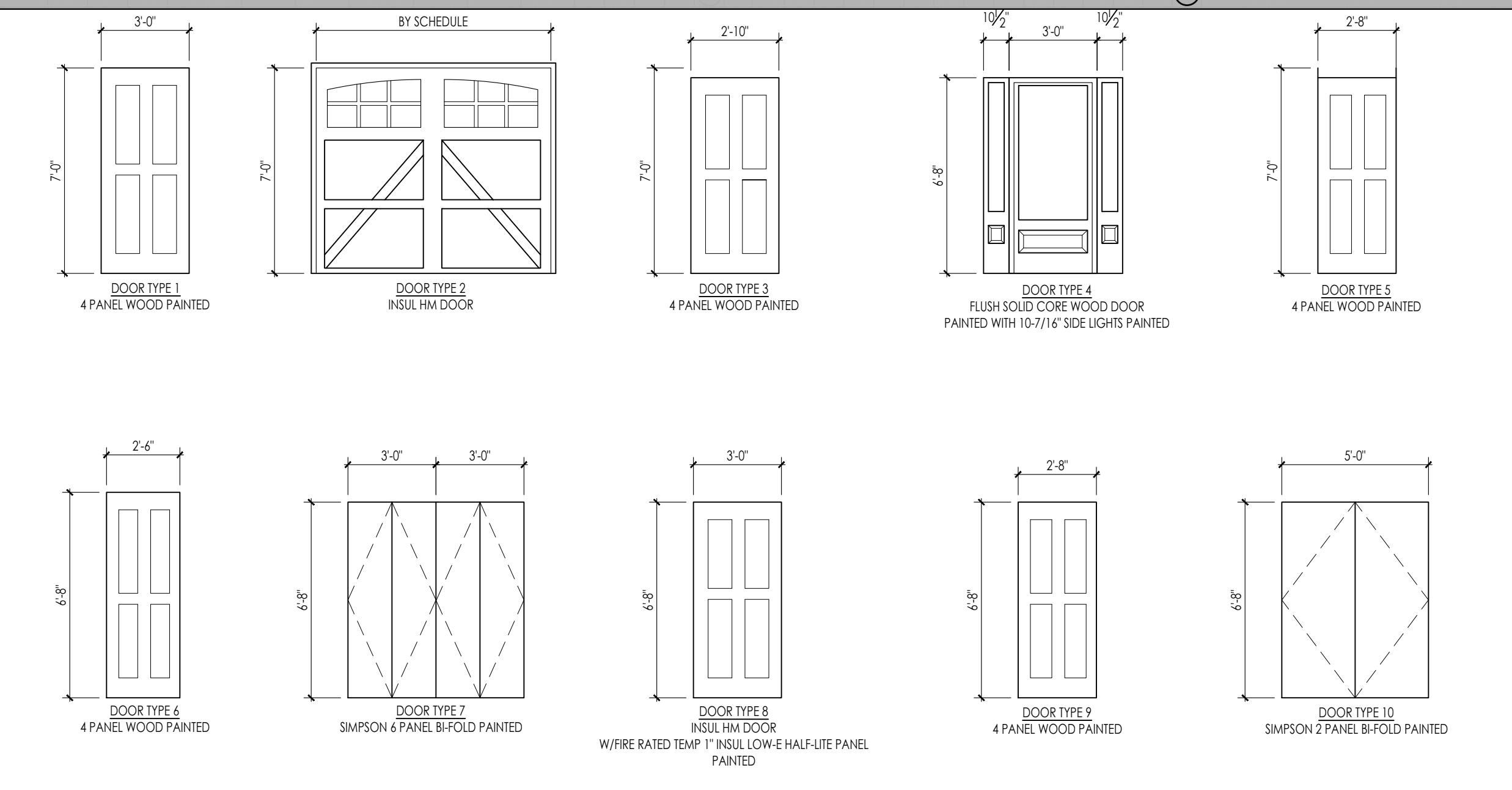
ELEVATION 'G'



ELEVATION 'H'

DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	DOOR MATERIAL			DOOR FINISH			DOOR LABEL			SIZE			FRAME		FRAME MATERIAL			FRAME FINISH			DETAILS			HARDWARE														LOCATION	REMARKS
		DOOR TYPE	DOOR MATERIAL	DOOR FINISH	DOOR LABEL	WIDTH	HEIGHT	THICKNESS	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	JAMB	HEAD	SILL	CONT. HINGES	HINGES	LATCH SET	LOCKSET	LOCK	THRESHOLD	CLOSER	TIME-OUT MAGNETIC LOCK	PUSH / PULL	WEAR/STRIPPING & SWEEP	KICK PLATE (MFR RECOMMEND)	PANIC HARDWARE	MAGNETIC HOLD-OPEN	OFFSET HINGES (180° OPEN)	ELEC STRIKE	CARD READER	OVERHEAD DOOR OPERATOR	BI-FOLD DOOR SET								
BASEMENT																																								
001	1	WD	-	-	3'-0"	7'-0"	-	F1	WD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
002	2	WD	PTD	-	8'-0"	7'-0"	-	F2	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
003	3	WD	PTD	-	2'-10"	6'-8"	1-3/8"	F3	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
004	4	WD	PTD	-	3'-0"	6'-8"	1-3/4"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
005	5	WD	PTD	C-LABEL	2'-8"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
006	6	WD	PTD	-	2'-6"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
007	7	WD	PTD	-	6'-0"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
008	8	WD	PTD	-	3'-0"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
009	9	WD	PTD	-	2'-6"	6'-8"	1-3/8"	F4	WD	PTD	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	



ROOM FINISH SCHEDULE

AREA	FLOOR	BASE	WALLS	CEILING	REMARKS
	LUXURY VINYL TILE	CARPET	12" x 12" CERAMIC TILE	SEALED CONCRETE	WOOD TREADS AND RISERS
	4" VINYL COVE	4" WOOD BASE	3" x 6" CERAMIC COVE	NONE	GWB PAINTED
	GWB PAINTED	GWB PAINTED & SANDED	WET WALL - FULL HEIGHT CERAMIC TILE. SUBWAY TILE	GWB PAINTED	GWB PAINTED & SANDED
GARAGE					
MECH/ELEC					
SPRINKLER					
BASEMENT STAIRS					
LIVING ROOM					
KITCHEN/DINING					
CORRIDORS					
HALF BATHROOM					
1ST-2ND FLOOR STAIRS					
BEDROOM 2					
BEDROOM 1					
BATHS					

WINDOW SCHEDULE

TYPE	MATERIAL	MANUFACTURER	MODEL NUMBER	ROUGH OPENING			REMARKS
				WIDTH	HEIGHT	HEAD RO. AFF.	
A	COMPOSITE	ANDERSEN	ADH3454	3'-4"	5'-4"	6'-8" +/-	½ DH LIGHTS, EGRESS
B	COMPOSITE	ANDERSEN	ADH3450	3'-4"	5'-0"	6'-8" +/-	½ DH LIGHTS, EGRESS
C	COMPOSITE	ANDERSEN	ADH3440	3'-4"	4'-0"	6'-8" +/-	½ DH LIGHTS
D	COMPOSITE	ANDERSEN	ADH3438	3'-4"	3'-8"	6'-8" +/-	½ DH LIGHTS
E	COMPOSITE	ANDERSEN	ADH3434	3'-4"	3'-4"	6'-8" +/-	½ DH LIGHTS
F	COMPOSITE	ANDERSEN	MATCH EXIST	3'-4"	5'-4"	6'-8" +/-	½ DH LIGHTS
G	COMPOSITE	ANDERSEN	MATCH EXIST	3'-4"	4'-0"	6'-8" +/-	3 x 3 DIVIDED LIGHTS



ARCHITECT'S STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

<input type="checkbox"/>	SCHEMATIC	07.20.2023
<input type="checkbox"/>	DESIGN DEVELOPMENT	10.25.2023
<input type="checkbox"/>	BID	N/A
<input type="checkbox"/>	PERMIT	12.28.2023
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	EXISTING CONDITIONS	

4	
3	
2	
1	GARAGE DOORS & ENTRY - 12.28.23
	REVISION DATE

DATE:	12.28.2023
SCALE:	AS NOTED
PROJECT:	2022.75
DRAWN:	PL
CHECKED:	JGH

PROJECT TITLE:
5-UNIT RESIDENTIAL
HISTORIC DISTRICT
114 AUSTIN ST
WORCESTER, MA 01609

SHEET TITLE:
DOOR AND WINDOW TYPES,
FINISH SCHEDULE

SHEET NUMBER:
A-8.0

ZONING SUMMARY

CURRENT ZONE: RESIDENCE, GENERAL (RG-5)
 OVERLAY ZONE: CROWN HILL LHD

	REQUIRED		PROPOSED	
	MFD	LOW RISE	MFD	LOW RISE
MIN. LOT AREA	8,000 SQ.FT.(1)	11,000 SQ.FT.(2)	9,211 SQ.FT.	9,211 SQ.FT.**
LOT REGULARITY FACTOR(3)	0.4	0.4	0.964	0.964
MIN. FRONTAGE	65'	100'	116.00'	116.00'
MIN. FRONT YARD SETBACK	15'	15'	15.5'	7.0**
MIN. EXTERIOR SIDE YARD SETBACK	10'	10'	7.3*	5.5**
MIN. SIDE YARD SETBACK	10'	8'	37.5'	4.6**
MIN. REAR YARD SETBACK	15'	15'	29.1'	9.0**
MIN. ACCESSORY SETBACK	5'	5'	4.6*	--
MAX. FRONT YARD IMPERVIOUS	50%	50%	5.1%	14.1%
MAX. BUILDING HEIGHT	50' (3+ STORIES)	35' (2+ STORIES)	3 STORIES	2+ STORIES

(1) 5,000 SQ.FT/FIRST D.U. + (1,000 SQ.FT/D.U.)*3 = 8,000 SQ.FT.
 (2) 2,200 SQ.FT/D.U.*5 = 11,000 SQ.FT.
 (3) $R=16*A/P^2$, WHERE A=AREA AND P=PERIMETER

* PRE-EXISTING NONCONFORMING
 ** VARIANCE REQUIRED FROM ZONING BOARD OF APPEALS

PARKING SPACE REQUIREMENTS

USE	REQUIRED	PROPOSED
RESIDENTIAL: 2/D.U X 5 UNITS =	10 SPACES	5 SPACES**

*** VARIANCE REQUIRED FROM ZONING BOARD OF APPEALS
 NOTE: SPECIAL PERMIT REQUIRED FROM ZONING BOARD OF APPEALS FOR A TWO WAY DRIVEWAY WIDTH OF SIXTEEN (16) FEET

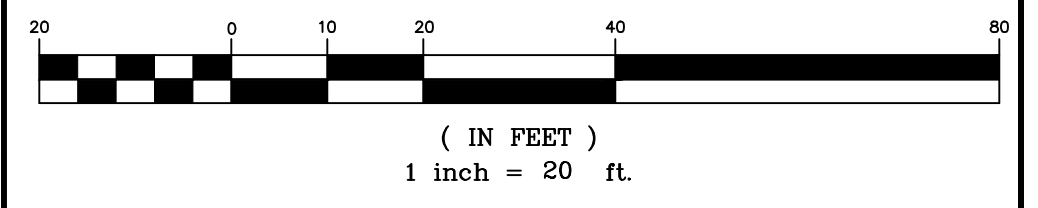
LEGEND:

- EXISTING PROPERTY LINE
- 520- EXISTING CONTOUR - HIGH
- 518- EXISTING CONTOUR - LOW
- 520- PROPOSED CONTOUR - HIGH
- 518- PROPOSED CONTOUR - LOW
- ===== EXISTING EDGE PAVEMENT
- ===== PROPOSED EDGE OF PAVEMENT
- ===== PROPOSED CURB
- D===== EXISTING DRAIN LINE
- D===== PROPOSED DRAIN LINE
- w- EXISTING WATER LINE
- w- PROPOSED WATER LINE
- s- EXISTING SEWER LINE
- s- PROPOSED SEWER LINE
- PROPOSED EROSION CONTROL

NOTE:

WRTA ROUTES 6 & 7 ARE LOCATED WITHIN WALKING DISTANCE TO THE SUBJECT PROPERTY (AT CHANDLER/PEIDMONT, CHANDLER WELLINGTON, CHANDLER/QUEEN).

GRAPHIC SCALE



REV. NO.	DATE	REVISION
2	12/1/23	REVISED LAYOUT
1	11/2/23	CITY COMMENTS

TITLE:
 DEFINITIVE SITE PLAN
 FOR
 114 AUSTIN STREET
 WORCESTER, MASSACHUSETTS 01609

PREPARED FOR:
 POLAR VIEWS, LLC
 89 WEST MAIN STREET UNIT 101
 NORTHBOROUGH, MASSACHUSETTS 01532

PROPERTY OWNER:
 POLAR VIEWS, LLC
 89 WEST MAIN STREET UNIT 101
 NORTHBOROUGH, MASSACHUSETTS 01532

PREPARED BY:
 J.M. GRENIER ASSOCIATES INC.
 118 TURNPIKE ROAD SUITE 200
 SOUTHBOROUGH, MASSACHUSETTS 01772

TELE NO.: (508) 845-2500 jmgrenier@townisp.com

SCALE: 1" = 20' **DATE:** OCTOBER 13, 2023

LAYOUT PLAN
SHEET NO.: SHEET 3 OF 9 **PROJECT NO.:** G-684

